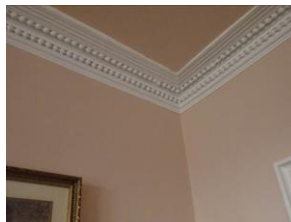


Georgian/Regency Example Residential Building Survey

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LATE 18TH CENTURY SASH WINDOW



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INTRODUCTION

Firstly, may we thank you for your instructions of xxxx we have now undertaken an independent Building Survey (formerly known as a Structural Survey) of the aforementioned property. This Survey was carried out on xxxx.

The Building Survey takes the following format; there is an introductory section (which you are currently reading), which includes a synopsis of the building, and a summary of our findings.

We then go through a more detailed examination of the property starting with the external areas working from the top of the property down, followed by the internal areas and the buildings services. We conclude with the section for your Legal Advisor and also attach some general information on the property market.

We are aware that a report of this size is somewhat daunting and almost off-putting to the reader because of this. We would stress that the purchase of a property is usually one of the largest financial outlays made (particularly when you consider the interest you pay as well).

We recommend that you set aside time to read the report in full, consider the comments, make notes of any areas which you wish to discuss further and phone us.

We obviously expect you to read the entire report but we would suggest that you initially look at the summary, which refers to various sections in the report, which we recommend you read first so that you get a general feel for the way the report is written.

As part of our service we are more than happy to talk through the survey as many times as you wish until you are completely happy to make a decision. Ultimately, the decision to purchase the property is yours, but we will do our best to offer advice to make the decision as easy as possible.

This Building Survey is confidential and not to be shared with the vendor (seller) or estate agent or parties working on their behalf without written consent from the surveyor that has produced the Building Survey. During the course of discussions/negotiations with the vendor/estate agent/parties working on their behalf if they wish to see the Report we suggest you ask them which specific section and send them this section via a photograph or a scan. The Report remains our copyright and should not be reproduced without written consent from the surveyor.

THANK YOU

We thank you for using our surveying services and taking the time to meet us during the building survey.



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REPORT FORMAT

To help you understand our Report we utilise various techniques and different styles and types of text, these are as follows:

GENERAL/HISTORICAL INFORMATION

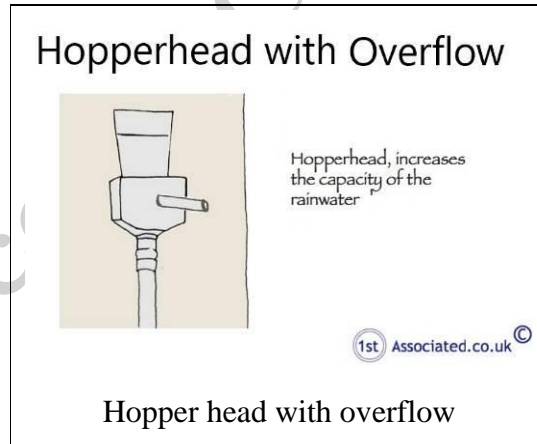
This has been given in the survey where it is considered it will aid understanding of the issues, or be of interest. This is shown in "italics" for clarity.

TECHNICAL TERMS DEFINED

Throughout the Report, we have endeavoured to define any technical terms used. This is shown in "Courier New" typeface for clarity.

A PICTURE IS WORTH A THOUSAND WORDS

We utilise photographs and sketches to illustrate issues or features. In some photographs a pencil, pen, circle or arrow has been used to highlight a specific area. We also use sketches to give guidance and clarity on various issues in the property and we use them to help you understand the issues, scenarios and situations better.



ORIENTATION

For the purposes of the report, we have taken xxxx as the front. Any reference to left or right is taken from the front of the property, including observations to the rear, which you may not be able to physically see from the front of the property.

ACTION REQUIRED AND RECOMMENDATIONS

We have used the term **ACTION REQUIRED** where we believe that there are items that you should carry out action upon or negotiate upon prior to purchasing the property. Where a problem is identified, we will do our best to offer a solution. However, with most building issues, there are usually many ways to resolve them dependent upon cost, time available and the length of time you wish the repair/replacement to last.



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SYNOPSIS

SITUATION AND DESCRIPTION

This is a two storey semi-detached property which has been altered and amended over the years. The building incorporates a room in the roof and a cellar.

There is a small garden to the front and a path leading to the right hand side entrance. There is an access road to the right side to a number of adjoining properties.

To the rear is a paved area and parking area, surrounded by fences and a large brick wall on the right side, which slopes towards the property. There are two outbuildings in the rear garden to the right side, one which looks to have once been a coal store.

This property there have been numerous alterations over the years and is difficult to date and indeed like many properties it has features from different eras, including the Georgian and Victorian eras.

If the exact age of the property interests you, you could have a historic report carried out and/or your Legal Advisor may be able to find out more information from the Deeds.

We have had a brief check to ascertain if the building is in a Conservation Area or not. We have not been able to find any information in relation to this, however the owner advises it may come under xxxx Conservation Area. It is important that your legal advisor checks and confirms this as it would have implications on what you can do to the property and how you should maintain it.

ACTION REQUIRED: Your legal advisor needs to check and confirm all of the above.

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Putting Life into Perspective!

Some of the things that were happening around the time the property was built:

- 1712-1836 Wallpaper Tax. For printed wallpaper, the result was that people used plain paper and did their own designed. Abolished in 1836.
- 1714 Daniel Gabriel develops Fahrenheit scale for taking temperature.
- 1745 Glass Tax (the type you drink out of, not look through). The glasses traditionally had a thick stem and they brought in a tax on the weight of the glass, which resulted in glasses getting thin stems to save weight. Glassmaking in Ireland, where it was not taxed, became more popular.
- 1750 The start of the Industrial Revolution.
- 1760 George III became King.
- 1784-1850 Brick Tax – tax on the number of bricks you used on a building. Introduced during the reign of George III. The result was brick manufacturers made bigger bricks and the government retaliated by changing the rules and stipulating a maximum brick size. This is why you can sometimes date a house by the size of the bricks. The tax was increased in 1794, 1797 and 1805. It also resulted in the use of weather boarding and mathematical tiles, which were a tile that looked like a brick. It was finally abolished in 1850.
- 1793-1800 The Grand Union Canal was built.

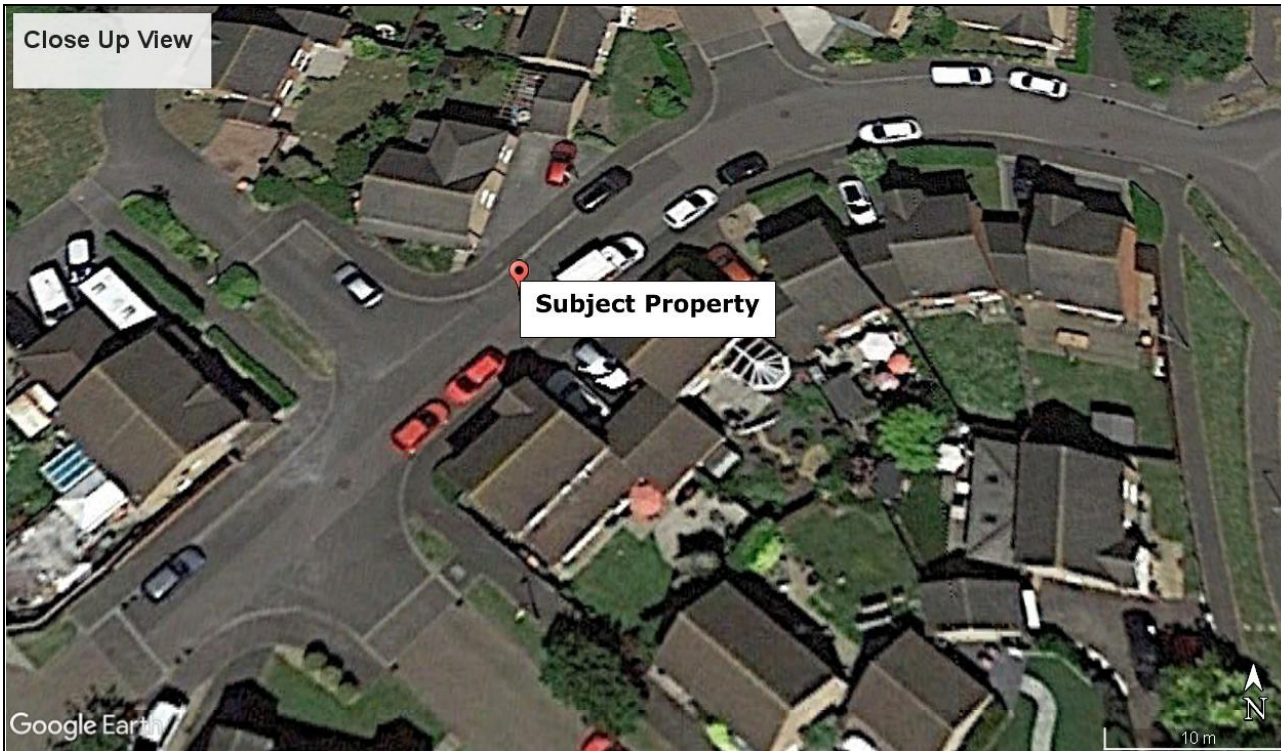
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LOCATION PLANS



Note; The photographs identify the building and are not necessarily where the boundaries, etc, are.

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EXTERNAL PHOTOGRAPHS



Front view



Back view



Left view



Right view and driveway



Driveway and kitchen extension



Rear garden and Car Port

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ACCOMMODATION AND FACILITIES

(All directions given as you face the front of the property)

Cellar

The cellar consists of:

- 1) Ladder access
- 2) One vaulted cellar area

Ground Floor

The ground floor accommodation consists of:

- 3) Entrance hallway and Staircase
- 4) Internal cloakroom
- 5) Internal boiler room
- 6) Front left Sitting Room
- 7) Front right Dining Room
- 8) Rear left Family Room
- 9) Rear right Kitchen/Diner

Ground Floor



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First Floor

The first floor accommodation consists of:

- 1) Landing and Staircase
- 2) Front left Bedroom Two
- 3) Front right Main Bedroom with en-suite Bathroom
- 4) Rear left Bedroom Three
- 5) Rear right Bathroom

First Floor

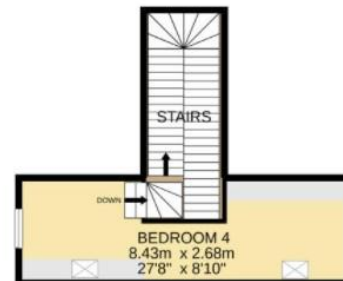


Top Floor/Rooms in the Roof

The top floor/rooms in the roof accommodation consists of:

- 6) Bedroom Four

Room in the Roof / Top Floor



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Outside Areas

There is a small garden to the front and a path leading to the right hand side entrance. There is an access road to the right side to a number of properties. We would always recommend you go and get to know the neighbours, ideally before you legally commit to purchase the property. They can talk about all kinds of things including extensions.

To the rear is a paved area and off road parking, accessed by the right hand side driveway. The rear is surrounded by fences and a large brick wall on the right side. There are also trees and bushes in the general vicinity. The whole of the garden slopes towards the property. There are two outbuildings in the rear garden close to the house.

Across the road to the front is the xxxx and the xxxx pub, which has an interesting website with local history and some pictures of the past which may interest you. There are one or two where this property is in the background.

Finally, all these details need to be checked and confirmed by your Legal Advisor.



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INTERNAL PHOTOGRAPHS

The following photos are of the internal of the property to help you recall what it looked like and the general ambience. We have not necessarily taken photographs of each and every room.

Ground Floor



Front Lounge



Front right Dining Room



Hallway and Staircase



Rear left Snug



Internal Cloakroom



Rear Kitchen/Diner



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Cellar



Cellar



Vaulted ceiling



Off ground storage, indicating cellar possibly gets damp



Openings in brickwork which may have been some kind of timber frame (conjecture)



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First Floor



Front right Main Bedroom



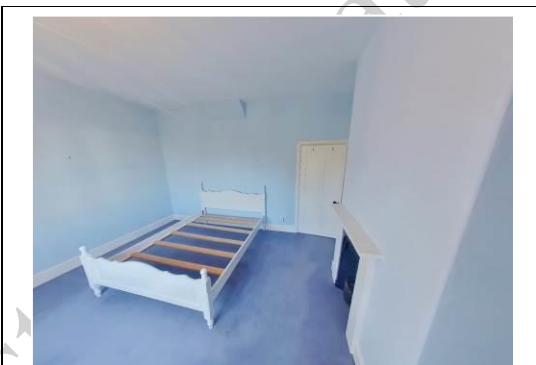
En-suite Bathroom



Landing and Stairs to room in roof



Bathroom rear right



Front Left Bedroom



Rear Left Bedroom



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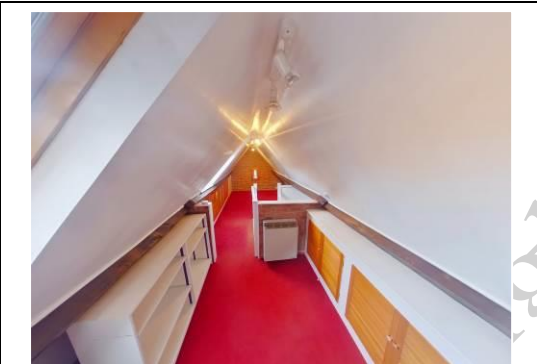
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Room in the Roof Photos



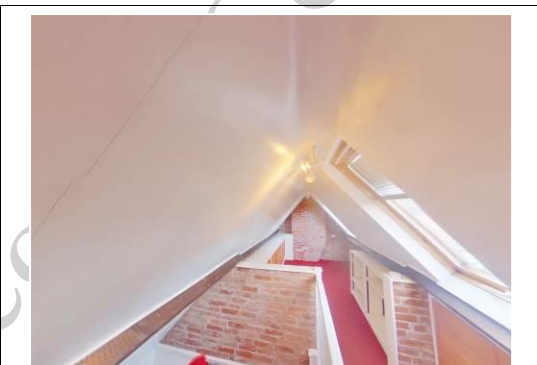
Room in roof looking to front



Room in roof looking towards stairs



Staircase to room in roof



Roof window and rear chimney



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SUMMARY OF CONSTRUCTION

External

Chimneys/Flues	Two brick chimneys: one large central brick chimney sitting in valley gutter and one to rear left side
Main Roof	Pitched, clad with slate, with central valley gutter in lead, with older style felt underneath majority of it Two roof windows overlooking to valley gutter Parapet walls to front
Main Roof Structure	Cut timber roofs, some of which not visible
Rear Flat Roof	1960s/1970s style felt covered flat roof with two roof windows
Rear Pitched Roof	Pitched, clad with slate
Gutters and Downpipes	Cast iron and Plastic
Soil and Vent Pipe	Plastic, to rear
Walls	Mixture of Flemish bond and variable bond brickwork, bedded with lime mortar, with repointing in cement mortar. Stretcher bond brickwork to rear kitchen extension (all assumed)
Fascias and Soffits	Decorated timber (assumed)
Windows and Doors	Mixture of single glazed timber windows with stone mullions and double glazed windows, with some plastic windows, with and without trickle vents

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Internal

Ceilings	Lath and plaster with a skimcoat of modern plaster (assumed)
Perimeter Walls	Lath and plaster with a skimcoat of modern plaster (assumed)
Internal Walls	Predominately solid (assumed)
Cellar	Briquettes
Ground Floor	Suspended floor to the front with a concrete floor to rear
First Floor	Joist and floorboards with embedded timbers (assumed)
Second/Top Floor	Strengthened floor structure (assumed)

Services

We believe that the property has a mains water supply, mains drainage, electricity and oil (all assumed).

Oil	There is a plastic oil tank located in the rear garden Oil boiler
Drainage	The three manholes are located to right side driveway
Electrics	The electric fuse board is 1980s-2000s and is located above the entrance door
Heating	Oil boiler, located in boiler room Plastic oil tank, located adjacent to outbuildings

We have used the term 'assumed' as we have not opened up the structure.

ACTION REQUIRED: Your Legal Advisor needs to check and confirm the above and advise us of anything they require further clarification on before legal commitment to purchase the property.

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EXECUTIVE SUMMARY

Summaries are not ideal as they try to précis often quite complex subjects into a few paragraphs. This is particularly so in a summary about someone's future home when we are trying to second-guess what their priorities are, so it is important the Report is read in full.



It is inevitable with a report on a building of this nature that some of the issues we have focused on you may dismiss as irrelevant and some of the areas that we have decided are part of the 'character' of this property you may think are very important. We have taken in the region of 200 photographs (including 360 degree/aerial photos) during the course of this survey and many pages of notes, so if an issue has not been discussed that you are interested in or concerned about, please phone and talk to us before you purchase the property (or indeed commit to purchasing the property), as we will more than likely have noted it and be able to comment upon it; if we have not we will happily go back.

We have divided the Executive Summary into 'The Good', 'The Bad' and 'The Ugly', to help distinguish what in our mind are the main issues.

Once you have read the report we would recommend that you revisit the property to review your thoughts on the building in light of the comments we have made in this survey.

The Good

Survey reports often are full of only the faults and general 'doom and gloom', so we thought we would start with some positive comments on the property!

- 1) The property has lots of character and many older features, as do the surrounding properties. We think it may be in a Conservation Area and therefore protected by law.
- 2) The property has good natural light due to the large windows.
- 3) The property has potential, although there is a fair amount of maintenance work and repairs needed, as long as discussed you are happy to enjoy the journey, and we think this could be a good project for the right people.

We are sure you can think of other things to add to this list.



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The Bad

Problems / issues raised in the 'bad' section are usually solvable, but often need negotiation upon. However, a large number of them may sometimes put us off the property.

1.0) Central chimney

There is a large brick built chimney which sits centrally in the valley gutter between the left and right roofs. This chimney is heavily spalling and in need of repair/rebuilding. We often find as chimneys are exposed they get badly affected.



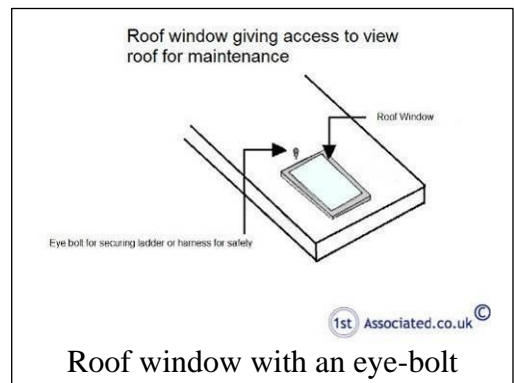
Sample of the cement repairs to large brick central chimney



Large brick central chimney, with roof window access to area

ACTION REQUIRED: Ad-hoc repointing/rebuilding.

ANTICIPATED COST: In the region of £2,000 to £5,000, if it can be carried out from the valley gutter via someone attached to a harness (see next section). It is still liable to need some form of scaffolding to do the higher work. If scaffolding is required from ground level this will double if not treble the costs. It is lucky you do have access via the roof windows.



Please obtain quotations before legally committing to purchase the property.

Please see the Chimney Section of this Report.



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2.0) Roofs

We believe the roofs are allowing some dampness in. This is a Catch-22 situation, we think in this case the insulation is approximately which is 300mm deep is hiding much of the dampness. Also it looks like it has been recently repainted. If you recall, it took some time and effort to open the loft hatch.

Right side roof



Right side roof

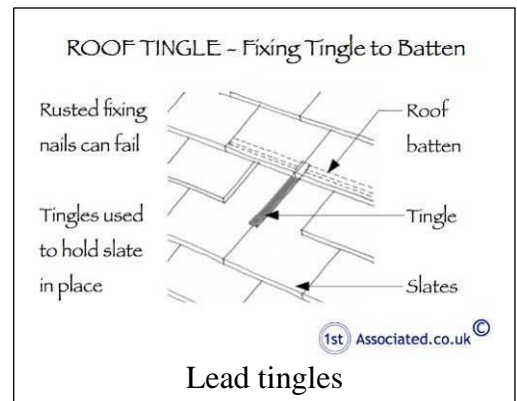


Right side roof letting in damp

We noted some tingle repairs to the slates to both the left and right side of the roof.



Sample of tingle repairs



Lead tingles

Lead Tingles or Lead Slaps Defined

These are strips of lead usually about 25mm wide which are used to secure slates where they have slipped.



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We believe water is getting into the roof and think this has been a long term problem which have been repaired many times with a number of styles of different tingles, from wire tingles, to lead tingles, with different thickness of lead from what we can see used on all the different tingles.

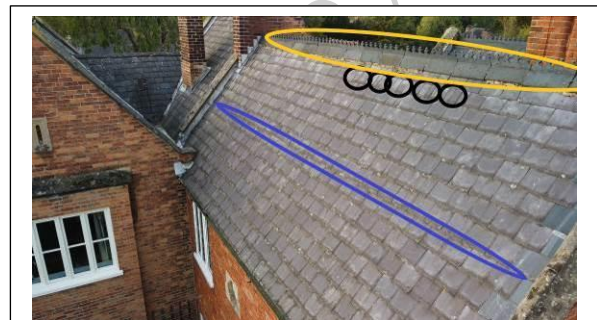
If there are more than a dozen tingles we would say you should be looking at re-roofing and that is the case with the right side roof; further investigation is needed.

Pattern of dampness

Left side roof

On the left side of the roof we can see a darker horizontal line on the tiles which is where we think they are susceptible to wind driven rain. We have also seen a number of slates split to the top part of the roof and the ridge tiles look like they need re-bedding.

We are not 100% sure how bad the problem is but we certainly think it needs investigation.



Problems to left roof

Key for above photo – sample of problems	
Orange oval	Ridge of roof needs re-bedding
Black circles	Split slates to top of roof
Purple oval	Example of one of the darker horizontal line of tiles



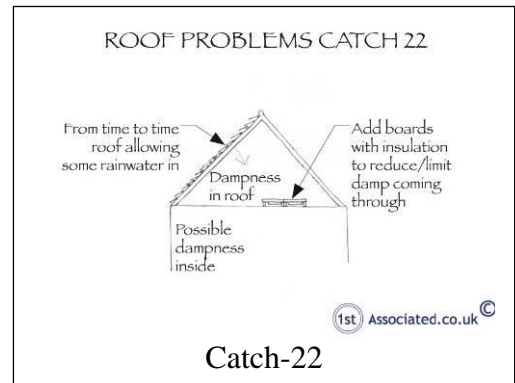
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ACTION REQUIRED: We often consider this as a Catch-22 situation where the roof is allowing some rain in but we are not sure how much. Rainwater may be getting through but it is impossible from a one-off visit to be certain.

We think to some extent the deep insulation in the roof is hiding much of the dampness, also if you recall, it was difficult for us to open the loft hatch due it being painted over and we also think the ceiling also has been painted hiding some of the deterioration.



The best way forward is to re-roof, however boarding out of the roof with insulated boarding throughout will help the situation (although not solve it in the long-term) and will give you four benefits:

- 1) It protects against any rainwater that comes through immediately.
- 2) It will give you an identifying mark as to where the rainwater is coming through.
- 3) It gives a better space in the roof ultimately as a usable area.
- 4) It will add insulation into the roof.

If you carry out this work in conjunction with having a roofer for a day or two to repair the roof slates (you need to have a supply of slates ready for when the roof problem occurs) this should see you through this winter and then you can make further investigations in the summer of xxxx.

When boarding out be careful around electric areas, such as lights.

We would not store any valuables in this area until you establish how watertight the roof is.

This work will need to be carried out straight away and does need to be in your maintenance programme.



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ANTICIPATED COST: Set aside £1,000 to £3,000 for adding insulated boarding to the roof. If this roof needs re-roofing we would estimate the sum of £8,000 to £12,000 with scaffolding to each side (right and left side). This does depend upon how many of the existing slates can be re-used.

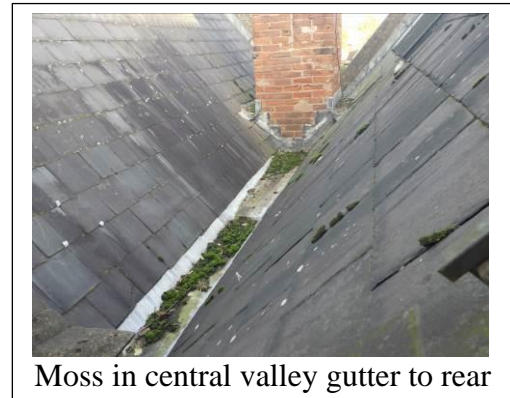
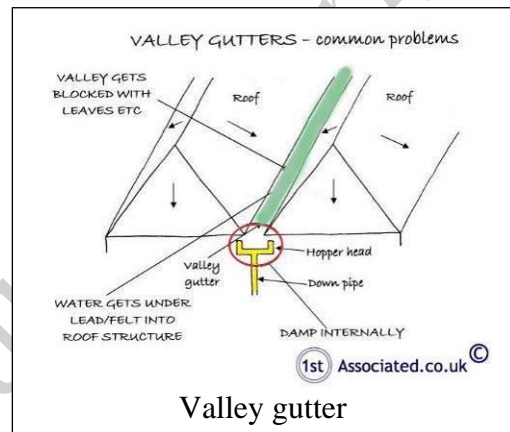
Please obtain quotations before legally committing to purchase the property.

Please see the Roof Structure Section of this Report.

3.0) Awkward valley gutters

Main roof awkward valley gutters

Where the two roofs meet there is an awkward valley gutter around the central chimney. These can often be problematic areas. You do have the benefit of being able to view the area via the roof windows. We can see in the rooms in the roof that the roof windows are letting in water.



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Key for above photo, showing a sample of the problems	
Green ovals	Moss in valley gutter
Black circle	Where a slate has come loose into the valley
Blue ovals	Area where we think water is getting in

The valley gutter needs clearing and the slates sorting out around them.

Rear awkward valley gutters

There are two awkward valley gutters to the rear; one at high level and one a low level.

High level awkward valley

We think the high level awkward valley gutter may be affecting your next door neighbour. We recommend you visit them and have a chat.



High level rear awkward valley gutter against wall, which looks to be affecting the next door neighbour

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Key for above photo, showing a sample of the problems	
Dark blue oval	High level valley gutter against neighbour's wall
Light blue ovals	We believe is where the main problems is around the wall
White circle	Where end cap of guttering is missing, which we think is fairly critical in this particular instance

Low level awkward valley

We think water will be getting in around this valley both to your property and the neighbouring property.

It possibly needs a hopper head adding. We like the ones that have an overflow pipe on them, sometimes seen on churches.



Key for above photo, showing a sample of the problems	
Light green oval	Looks like a fern or similar growing
Blue ovals and arrow	Area where we think both your property and your neighbour's property could be getting wet



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Address: XXXX

ACTION REQUIRED: As already mentioned, we recommend some form of eye-bolt is fitted that allows harnessing to be carried out so these areas can be looked at properly, also using ladders and crawler boards, etc.

We recommend starting off with basic cleaning of these areas and repairing of any damaged areas, such as putting the gutter end on.

As mentioned, you do need to have a chat with your neighbours to see how it is affecting them and you also need to stand outside and looking at these areas next time it rains heavily to see exactly where the water is going.

We always think that lead is the best way forward for repairing valley gutters. We would take as many pictures as possible and speak to someone who is good with lead work.

ANTICIPATED COST: There may be some simple solutions here that are hundreds of pounds but we suspect overall £2,500 to £5,000 would be a good budget for these valley gutter areas. Please obtain quotations before legally committing to purchase the property.

Please see the Roof Section of this Report.

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4.0) Rear Roof

There are also a number of tingles to the rear pitched roof and as mentioned we think there will be problems where the awkward valley gutter is. We think it very likely there will be some rot to the rafter feet in this area.



Rear pitched roof, with area of flat roof to rear



Some of the tingles on roof



Awkward valley gutter to rear against rear pitched roof



Rear pitched roof

Key for above photo, showing sample of problems	
White circles	Sample of the tingle repairs
Black circles	Slipped or damaged slates
Blue oval and arrow	Awkward valley gutter



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ACTION REQUIRED: We did not gain access into this roof during the survey and we would be more than happy to comment upon any photos taken before you legally commit to purchase the property.

ANTICIPATED COST: In the region of £2,500 to £5,000 to repair/replace slates. Please obtain quotes before you legally commit to purchase the property.

Please see the Roof Section of this Report.

5.0) Flat, flat roof

There is a flat, flat roof to the rear, by this we mean the green moss you can see water is likely to be sitting in these areas as there is no true fall on the roof, we like to see flat roofs with a fall of approximately 22 degrees.



Rear flat roof with two roof windows

Awkward detail behind pitched roof

As you are aware from the previous sections, there is water coming down from the valley gutter in this area.

Flashings

There are felt flashings, we much prefer to see lead flashings, particularly where there is likely to be a build up of water, as there is in this case.



Rear flat roof with two roof windows

Thermal efficiency

We also spoke about the possibility of adding insulation into the roof to improve the thermal efficiency.



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Key for above photo, sample of problems areas	
Blue oval	Example of one of the felt flashings, which we recommend is replaced with lead
Green oval	Moss which indicates it is a flat, flat roof without any fall

ACTION REQUIRED: You could, as with many roofs, patch repair this for many years to come, however ultimately it will need to be re-roofed, we believe with a high performance felt roof, ideally cut to falls with insulation.

However, it may be more prudent to replace the flat roof with a pitched roof and perhaps have a high level ceiling in the kitchen, subject to obtaining Planning Permission and Building Regulations Approval of course.

As a general comment we recommend you speak to local people who have had extensions carried out, such as the one we saw to the rear right of the property and go on the Planning Portal to see what other extensions there have been. Also it is good for finding out who locally has had Planning Permission passed.

As mentioned, we would also suggest you go on the Society for the Protection of Ancient Buildings course, known as SPAB, to get an understanding of older building techniques and what Conservation Officers and Planners are looking for when older properties are extended.

ANTICIPATED COST: It really depends on whether you are repairing the flat roof, replacing it or having a new roof. We would expect the patching of the roof to be a relatively small cost, although it would be a frequent cost, and the re-roofing with a good quality flat roofing material with insulation to be in the region of £7,500 to £10,000 depending upon the awkwardness of the detail. Costs for a new pitched roof to be in the region of £15,000 to £25,000 depending on what you are having done.

Please obtain quotations before legally committing to purchase the property.

Please see the Roof Coverings Section of this Report.



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6.0) Dampness getting in from the roof

We do think some dampness will be getting in from the room from time to time. As mentioned, we noted that some of the ceilings look to have been painted. We also noticed some cracking in the plaster.

Having said that, the property has been empty for some time/a year or so from what we understand.



ACTION REQUIRED: Unfortunately the only way to truly understand how much water is coming through is to actually occupy the property.

We would, however recommend that you redecorate all the ceilings in the rooms in the roof as soon as possible, as this will then give a good indication of what water is coming through, as well as being a good thing to do to make the house your home.

ANTICIPATED COST: You really can spend as much or as little as you want on decorating, from doing it yourself to getting someone and picking expensive wallpaper, etc; the choice is yours.

Please obtain quotes before you legally commit to purchase.

Please see the Ceilings and Internal Decoration Sections of this Report

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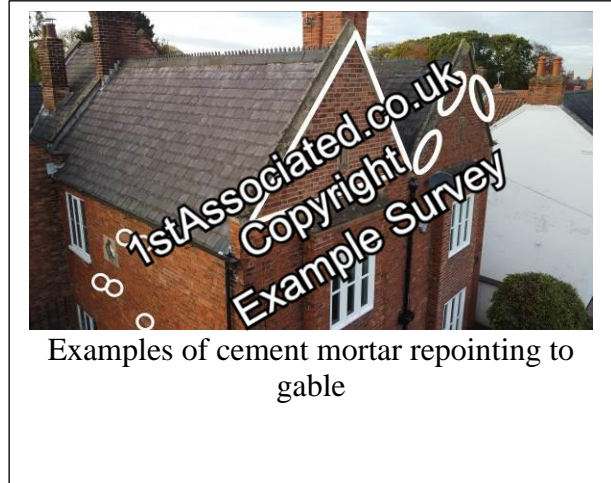


7.0) Walls

The walls have been repointed in cement mortar in some areas and need repair in other areas.



Close up area of lime and older cement mortar repointing



Examples of cement mortar repointing to gable

Key for above photo showing samples of problem areas	
White triangle	Work carried out in cement mortar
White ovals	Areas of repair in cement

Lime Every Time and Lime Takes Time

Originally the walls would have been built with a lime-based mortar which allows the building to ‘breathe’/dissipate dampness.

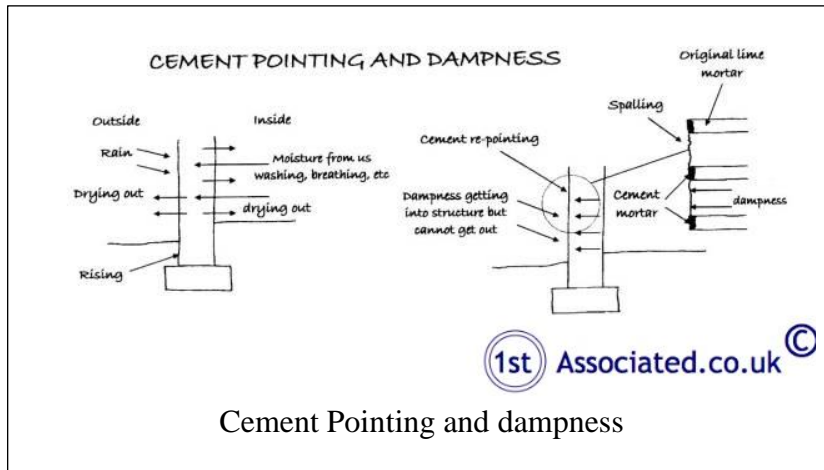
The use of cement mortar causes deterioration to brickwork and does lead to the face of the bricks deteriorating and also leads to dampness and cracking.



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Wrongly repointed areas

The following are a few areas we noted have been wrongly repointed in cement, some of are highlighted in white in earlier photos:

1. High level left gable end.
2. Low level right side
3. Poorly pointed/new bricks added to left side

Spotted dog effect and deteriorating brickwork

You need to be so careful with carrying out repairs to the deteriorating brickwork. If not carried out correctly it can stand out considerably with the wrong colour bricks, causing what we term as a 'spotted dog' effect.

The other thing that causes a spotted dog effect is where cement mortar is used to cover up deteriorating brickwork. Unfortunately there are examples of both on this property.



ACTION REQUIRED: Find the oldest/most experienced bricklayer/mason you can who is skilled in using lime mortar to replace cement mortar with lime, ideally during warmer/summer months, known as the lime season.



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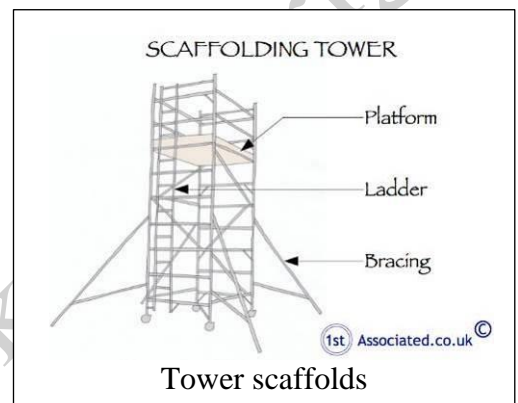
Address: XXXX

A programme of work then needs to be carried out on replacing cement re-pointing with lime. This building needs to be able to breathe again. We would start with the garden wall on the right hand side as soon as possible to make that safe.

Working on the house is a fairly skilled job and this type of work needs to be carried out by someone you have found who is competent in lime work, or have found someone who can supervise for you and who is competent the work is being carried out well.

We would also recommend you buy your own tower scaffold to allow ease of access to higher areas, as we have found good access will help achieve better quality work in our experience.

ANTICIPATED COSTS: Budget £5,000
£10,000 over the next few years to do the worst of the work. Please obtain quotations before legally committing to purchase the property.



Please see the External Walls Section of this Report.

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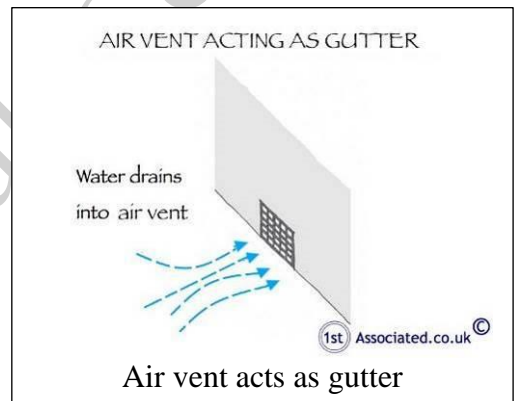
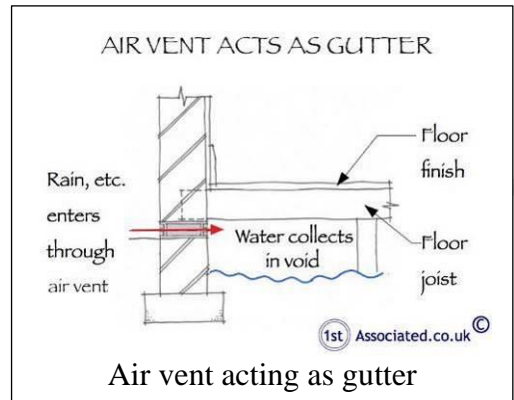


8.0) Suspended timber floor - air vents acting as gutters

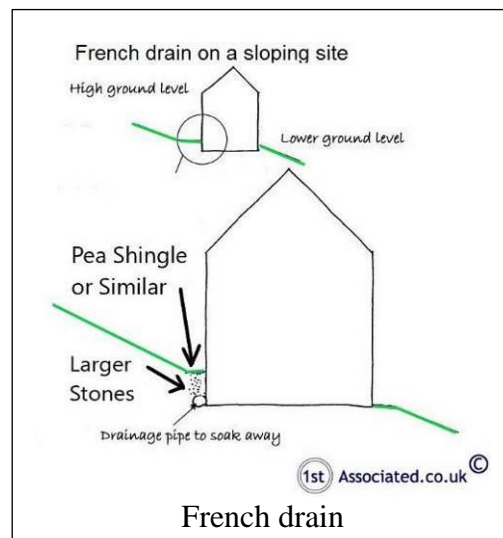
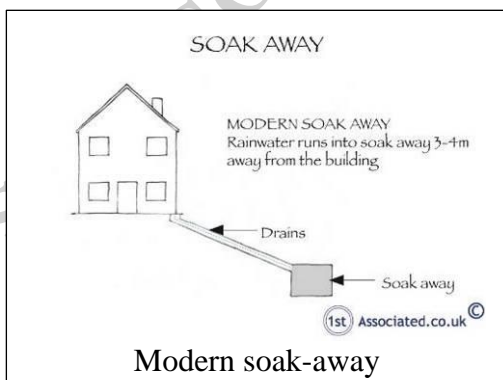
The front of the property has a suspended timber floor which needs an airflow underneath it to help reduce the possibility of wet rot, dry rot and wood destroying insects.

Air vents acting as gutters

We can see a number of the air vents are acting as gutters, allowing water to get underneath the timber floor, which will cause dampness and deterioration.



ACTION REQUIRED: We recommend you add a land drain/French drain around the front and side of the property and also to the rear (see our comments specifically on this). It should have a perforated pipe which discharges into the drains in the road area (subject to permission) and/or a soak-away.



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Ideally open up the floor and check its condition. There was an area of the floor to the front right dining room which looked like it had been opened up. We would recommend this is re-opened before you commit to purchase the property and we would be more than happy to comment on any photos taken, also any comments as to whether there is a damp smell when the floor is opened up.



Area of floor in dining room which looks as though it has been opened up before

ANTICIPATED COST: Between £2,500 to £5,000 for a French drain type solution. Ensure air vents are cleared and protected.

Costs could be many thousands of pounds if some timber in the floor has to be replaced, although, we would say that in older properties such as this the quality of timber used under the flooring tends to be far better than you would find today.

However, if there are major problems, such as wet rot, dry rot or wood destroying insects then the costs will be far more, without opening up the floor we cannot be 100% certain of this, but from walking on the floor and the deflection it does seem to be reasonably alright. If you do wish to be 100% certain the floors should be opened up before you legally commit to purchase.

Please obtain quotations before legally committing to purchase the property.

9.0) Rear Sloping Site

It looks like the rear of the property slopes towards the kitchen extension, which we understand you wish to make alterations to. You do need to ensure water can drain away. There are two gullies in this area.

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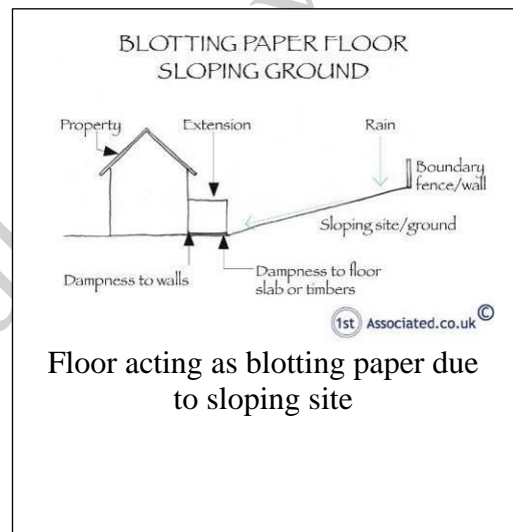
Rear sloping site



Sloping Site

The rear floors are solid under foot, assumed to be concrete and we think they may be acting like blotting paper, drawing dampness in.

ACTION REQUIRED: There are two gullies in this area, however we would recommend a French drain/land drain is added which will help reduce some of the effects of the sloping site and water discharging against the property. If you can have two of these it will be even better.



Floor acting as blotting paper due to sloping site

ANTICIPATED COST: In the region of £2,500 – £5,000; please obtain quotations before legally committing to purchase the property.

Please see the Dampness Section of this Report.

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10.0) Condensation and black mould

We believe this property is liable to having condensation and black mould more than most properties due to the design of older properties, with cold areas underneath flat roofs for example, and different thermal efficiencies between the older construction and newer construction, all of which condensation and black mould can occur on.

It is also good practice to get rid of the humid air from historic properties as soon as possible.

ACTION REQUIRED: We would recommend large good quality humidity controlled extract fans are added to the kitchen, the bathroom and any humidity generating areas for example rooms that are used for drying clothes internally during winter months (we would assume that clothes will be dried externally during the warmer months). By large extract fans we mean 150mm.

ANTICIPATED COST: We would anticipate costs between £250 - £500 per extract fan depending upon the wiring required. We always recommend quotes are obtained before work is agreed/commenced and before legally committing to purchase the property.

Please see the Dampness Section of this Report.



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11.0) Rear right bathroom

The bathroom has a boarded ceiling and we wondered whether this was due to there having been a leak in this area?

ACTION REQUIRED:
Further investigation needed.
Please see our earlier comments regarding the roofs.



Boarded ceiling in bathroom

ANTICIPATED COST: We think we have identified the problem areas with the roof, it may be worth having an additional £1,000 to £2,000 contingency in case there are problems in this area.

Please see the Bathroom Section of this Report.

12.0) Cellar

This property has a cellar, which we believe should be considered as a damp area and certainly not for the storage of anything valuable or perishable.

We are finding that with our ever changing weather patterns cellars flood more than they used to in our relatively short few decades of surveying properties.

There did look to be an area where it looked like a path of water would be travelling through the cellar.



Possible path for water to go

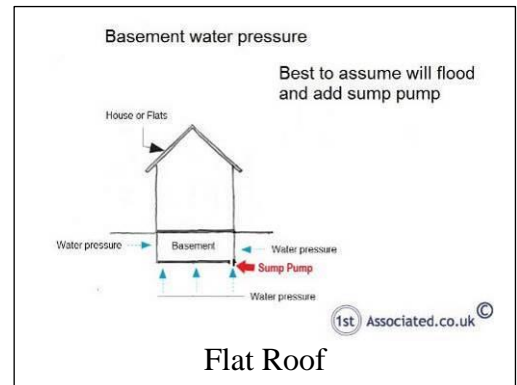
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ACTION REQUIRED: We would recommend a sump pump is added for removing water away from the cellar, although we cannot quite see how this would work. You may have to consider flooding of the cellar as a characteristic of this property.



ANTICIPATED COST: Few hundred pounds; please obtain quotations before legally committing to purchase the property.

Please see the Cellar Section of this Report.

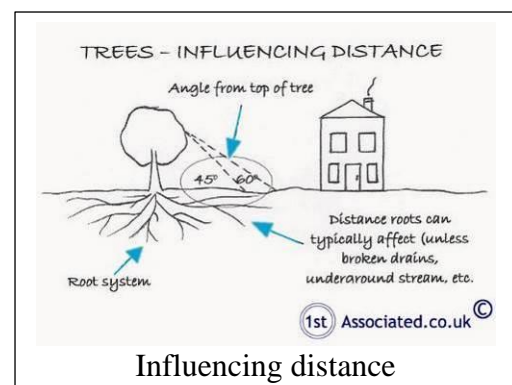
13.0) Tree to end of rear garden

There is a fairly large tree at the bottom of the garden, which does look like it needs maintenance, as does the covered garage area to the rear, which we think is your tree, although it may possibly belong to the neighbour and this need confirming.



Influencing Distance Defined:

Influencing distance is the distance in which a tree may be able to cause damage to the subject property.



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ACTION REQUIRED: We would recommend an arboriculturalist (not a tree surgeon) is asked to view the trees and give a ten year plan of maintenance. This tree is taking water away from the property.

Also check to see whether this tree has a TPO (Tree Preservation Order).

ANTICIPATED COST: In the region of £250 - £1,000 for an arboriculturalist report plus the cost of any work; please obtain quotations before legally committing to purchase the property.

Please see the Trees Section of this Report.

14.0) Rear car port

The rear covered car port roof is a fairly basic plastic sheet battened down from what we can see.

ACTION REQUIRED: Really depends upon what you intend to use the car port for. If you have a prestigious car or something you want to make sure is safe/dry then we would be looking to generally improve and re-roof.



Rear car port

ANTICIPATED COST: Depends upon what you wish to do. Please obtain quotations before legally committing to purchase the property.

Please see the Outside Areas Section of this Report.

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Services

15.0) Dated electrics

The electrics are located above the entrance door. They are 1980's-2000's and far better are available.

ACTION REQUIRED: As the property is changing occupancy we recommend a test and report, as do The Institution of Engineering and Technology (IET). The test and any recommendations should be carried out by an NICEIC registered and approved electrical contractor or equivalent.



Dated fuse board

ANTICIPATED COST: We would expect costs in the region of:

1. £250 - £500 for test and report
2. £250 - £500 for a new fuse board
3. In the region of £100 - £200 per additional socket point
4. Plus any further work recommended

Please obtain quotations before you legally commit to purchase the property.

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16.0) Manholes

We located three manholes running down the right hand where the road is. They are not actually on your land but we think are the ones that drain water away from your property. Unfortunately we were unable to open them to check their condition.



Manhole One to front of driveway has been bent so we were unable to open



Manhole Two to middle, again we were unable to open



Unable to lift Manhole Three

Manholes Defined

Access areas usually large enough to fit a person in so work can be carried out. Manholes are used where there is a change in direction of pipes or new pipes join the main run. It is a good location for clearing any blockages.

ACTION REQUIRED: As we are recommending adding French drains/ land drains in it is good if they can discharge into the main drains, although often it is not allowed and you will have to make your own soak-away, however if you are able go into the main drains we would recommend a closed circuit TV camera report of the drains to check their condition.

It will be interesting also know if these are private drains with regard to carrying out maintenance.

ANTICIPATED COST: A few hundred pounds; please obtain quotes before you legally commit to purchase.

Please see the Services Section of this Report.



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The Ugly

We normally put here things that we feel will be difficult to resolve and will need serious consideration.

The number of Bad items we have found would put many people off purchasing this property, however as we discussed if you are willing to enjoy the experience and learning about the property, attend SPAB courses and get advise from professionals used to dealing with historic buildings, then we do think it is great to take on a project like this.

However, we must emphasise that it is a project, particularly the high level work, chimneys, roofs, valley gutters and the brickwork at high level, all of which will be costly.

It also does have some potential, as we discussed for example with the kitchen to the rear.

We are more than happy to discuss all of this with you once you have read the report in full.

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SERVICES AND YOUR OWN SPECIFIC TESTING

Whilst we have carried out a visual inspection only of the services within the property we would always recommend you have your own specific testing for each of the services.

Electrics

The electric fuse board is located above the entrance door. It is 1980's-2000's and is located above the entrance door and is dated.

ACTION REQUIRED: We recommend a new fuse board with a fire resistant metal case.

As the property is changing occupancy we recommend a test and report, as do The Institution of Engineering and Technology (IET). The test and any recommendations should be carried out by an NICEIC registered and approved electrical contractor or equivalent.

Please see our earlier comments.

Heating

There is an oil boiler located in the boiler room. It is dated, however if these older boilers are serviced well they can give many, many years of life. We are finding that modern (gas) boilers do tend to be more complex and find they do not tend to last as long as older boilers, although obviously they are often more economical to run/repairing cost.

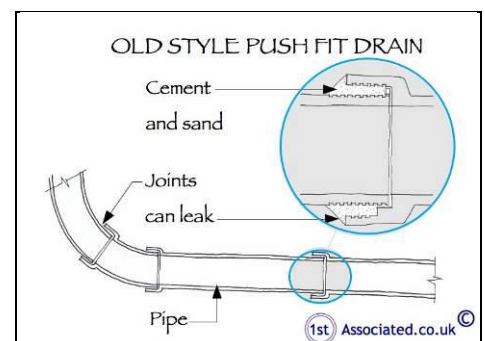
ACTION REQUIRED: We would recommend that the existing system be tested and overhauled before exchange of contracts and that a regular maintenance contract be placed with an approved heating engineer.

Drainage

We have mentioned the drains run on the right side under the driveway, which we assume is shared.

In older properties, such as this, drainage was often push fitted together rather than bonded together which means that they may leak over the years.

ACTION REQUIRED: You need find out how this is maintained.



Push fit drain



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Whilst we ran the tap for 15 minutes without any build up or blockages the only way to be one hundred percent certain of the condition of the drains is to have a closed circuit TV camera report.

Water Supply

There is danger in older properties of having a lead water supply; we would recommend that you speak to the water company to ask them if they have carried out such replacement.

ACTION REQUIRED: We would reiterate that we recommend with regard to all services that you have an independent check by a specialist contractor.

Maintenance

It should be appreciated that defects which would normally be highlighted in a modern property, effectively form part of an older property's overall character and style. Such defects are considered acceptable and may not have been specifically referred to as defects within the context of this Report.

This type of property will require ongoing maintenance and repair and a budget for such work must be allowed to ensure it is maintained in good condition. This will prevent undue and unnecessary deterioration. In this case we believe there has been an average maintenance to the property, although some of the areas have been maintained longer than they should have been and are now in the stage where they need major work/renewal/re-thinking.

Getting to know more about older properties - SPAB course

We would recommend that you go on a Society for Protection of Ancient Buildings (SPAB) weekend course on looking after and maintaining older properties. Even if you do not intend to carry out the work yourself it does give you a far better idea of what work should be carried out. The website for this is www.SPAB.org.

DIY/Handyman Type Work

There are numerous other items that we would class as DIY or handyman type work such as redecorating to turn the property into your home. We have detailed these and other issues within the main body of the report.



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Purchase Price

We have not been asked to comment upon the purchase price in this instance, we have however referred you to sources of general information on the housing market within the Information on the Property Market Section, which can be found in the Appendices at the end of the Report.

Every Business Transaction has a Risk

Every business transaction has a risk, only you can assess whether that risk is acceptable to you and your circumstances. You should now read the main body of the Report paying particular attention to any “**ACTION REQUIRED**” points.

Estimates of Building Costs

Where we have offered an estimate of building costs please remember we are not experts in this area. We always recommend you obtain quotations for the large jobs before purchasing the property (preferably three quotes). The cost of building work has many variables such as the cost of labour and estimates can of course vary from area to area when giving a general indication of costs. For unskilled labour we currently use between £75 and £125 per day (the higher costs in cities/towns) and for tradespeople we use between £100 and £200 per day for an accredited, qualified, skilled tradespeople. Other variations include the quality of materials used and how the work is carried out, for example off ladders or from scaffold.

If you obtain builders estimates that vary widely, we would advise the work is probably difficult or open to various interpretations and we would recommend a specification is prepared. It would usually be best to have work supervised if it is complex, both of which we can do if so required.

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SUMMARY UPON REFLECTION



The Summary Upon Reflection is a second summary so to speak, which is carried out when we are writing the second or third draft a few days after the initial survey when we have had time to reflect upon our thoughts on the property. We would add the following in this instance:

There is a great deal to consider with this property and we would say there are more problems than we were expecting, particularly at high level. We would negotiate on the purchase price of the property based upon these findings.

As mentioned earlier within this report you need to ensure you are happy that you will enjoy the journey and project of an older property like this.

We would refer you to our comments in the Executive Summary, 'Good', 'Bad' and 'Ugly' Section and ask that you re-read these.

As a general comment for any work required we would always recommend that you obtain at least three quotations for any work from a qualified, time served tradesperson or a competent registered building contractor prior to legal completion.

We would ask that you read the Report in full and contact us on any issues that you require further clarification on.



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AERIAL VIEW – 360 PHOTOS

Where permission has been obtained from the owners we have carried out aerial photographs using an aerial drone, stationary drone or a mono-pod pole (where the environment and weather is suitable).



Drone and mono-pod pole



Valley gutter and central chimney
~ Aerial View - 360 Photo ~



Rear flat roof
~ Aerial View - 360 Photo ~



Box bay windows to front
~ Aerial View - 360 Photo ~



Right side driveway and kitchen extension
~ Aerial View - 360 Photo ~



Rear parking and garden
~ Aerial View - 360 Photo ~



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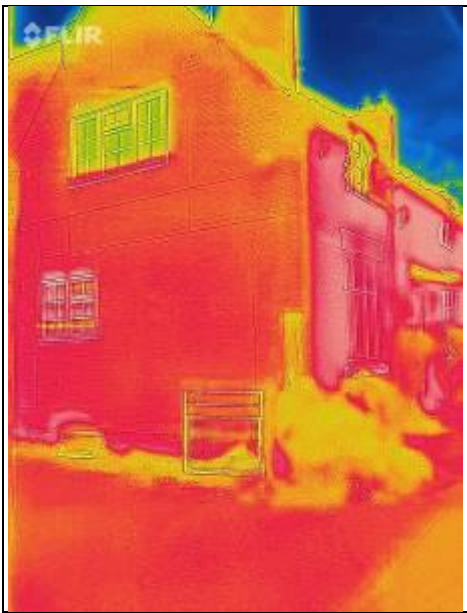
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EXAMPLE THERMAL IMAGE PHOTOGRAPHS

- Not Your Property

The property was not pre-heated so there was not ideal conditions however below are examples of some thermal images (not your property). We use thermal imaging photography to help us with the survey. Not only does it establish warm and cold areas, it also helps us identify materials within the property.

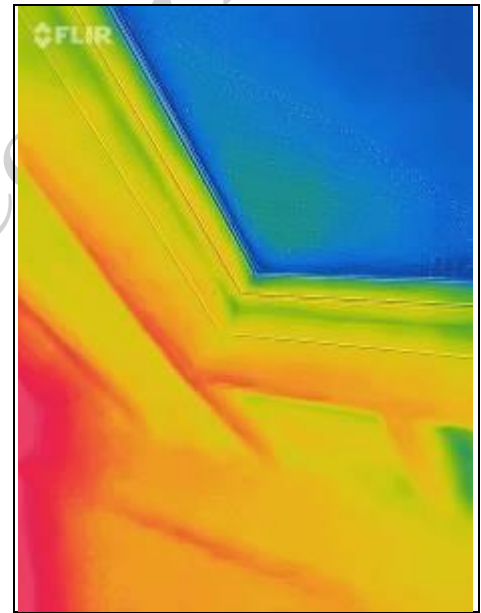
(Key to the colours; blue = cold, red = warm, green/yellow = cool)



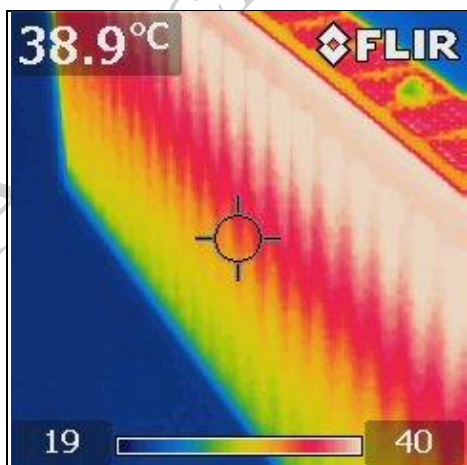
Left gable
(Not your property)



Window
(Not your property)



Roof window in bathroom
(Not your property)



Double panel convection radiator
warming up
(Not your property)



Red shows heat from single panel radiator
(Not your property)

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MORE ABOUT THEREPORT FORMAT

Just a few more comments about the Report format before you read the actual main body of the Report.

TENURE – FREEHOLD (OR AS GOOD AS)

We have assumed that the property is to be sold Freehold or Long leasehold, with no unusual or onerous clauses and that vacant possession will be available on completion. Your Legal Advisor should confirm that this is the case.

ESTATE AGENTS – FRIEND OR FOE?

It is important to remember that the estate agents are acting for the seller (usually known as the vendor) and not the purchaser and are therefore eager to sell the property (no sale – no fee!). We are employed as Independent Chartered Surveyors and offer an independent point of view.

SOLICITOR/LEGAL ADVISOR

To carry out your legal work you can use a solicitor or a legal advisor. We have used both terms within the report.

TERMS OF ENGAGEMENT/LIMITATIONS

This report is being carried out under our terms of engagement for Building Surveys, as agreed to and signed by yourselves. If you have not seen or are not happy with the terms of engagement please phone immediately 0800 298 5424 or email the secretary from which this survey came from.

OUR AIM IS ONE HUNDRED PERCENT SATISFACTION

Our aim is for you to be completely happy with the service we provide, and we will try and help you in whatever way possible with your property purchase - just phone us.

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**THE DETAILED PART OF THE REPORT
FOLLOWS, WORKING FROM THE TOP OF
THE PROPERTY DOWNWARDS**



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EXTERNAL

CHIMNEY STACKS



Chimneys developed originally from open fires placed within buildings. From this, the chimney has developed to its present day format where it is used as an aesthetic feature and focal point rather than purely just to heat the room.

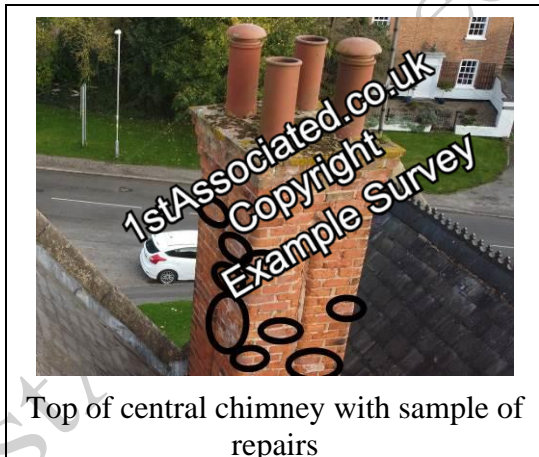
There are two chimneys to this property, located one centrally and one to the rear which we believe sits on the Party Wall (all directions given as you face the property).

Party Structures Defined

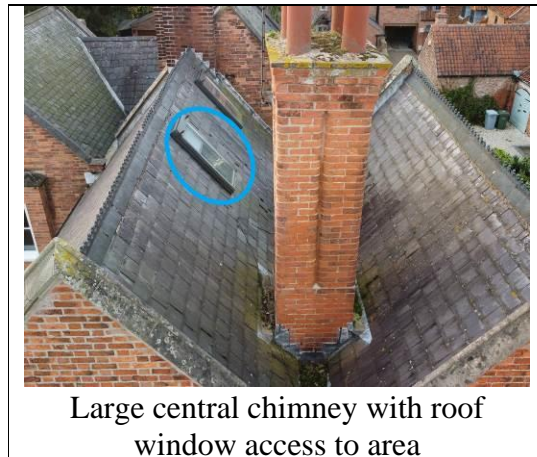
A structure that both parties enjoy the use of or benefit from. An example of this would be where both parties gain support from a wall or utilise a chimney or chimneys.

Chimney One – Middle

This large chimney is brick finished with a lead flashing and four chimney pots. From what we could see from ground level it looked in below average condition considering its age, type and style. We have circled a sample of spalling brickwork, often more are found when you are actually on the roof and have a close up view.



Top of central chimney with sample of repairs



Large central chimney with roof window access to area

We noted an aerial attached to the chimney which we are not keen on as it can destabilise the chimney.



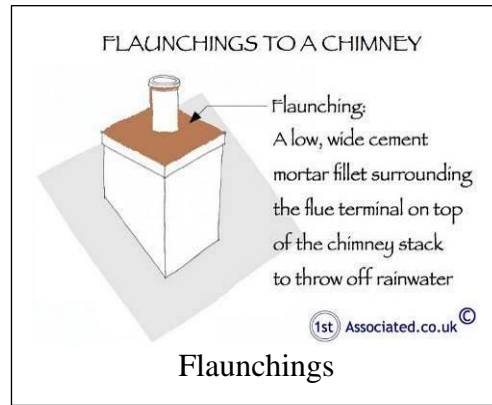
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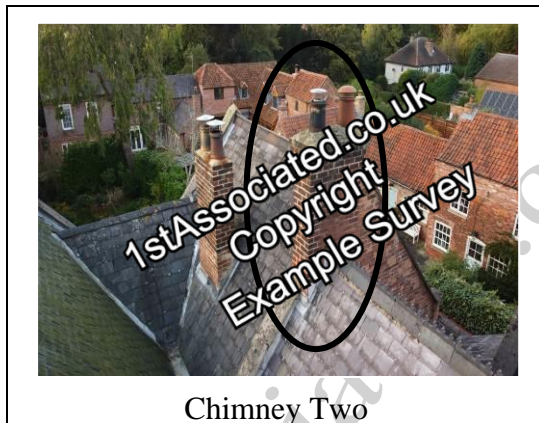
The flaunching (top of chimney) is made from cement and is in average condition.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Chimney Two – Rear Right

This chimney is brick finished with a lead flashing and two chimney pots. We believe the flaunching (top) is allowing water in, as we could see dampness internally. We had a very limited view as we could only see one side of the chimney.



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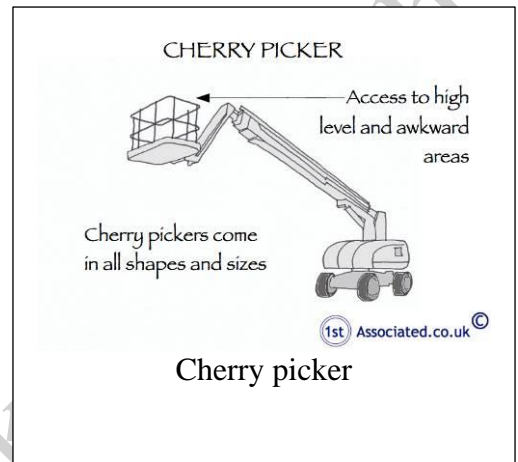
0800 298 5424

ACTION REQUIRED: Ad hoc repointing and repair of flaunching.

ANTICIPATED COST: The difficulty is getting to the chimney. We have carried out work to a chimney in the past of a similar height and the scaffolding was over £3,000, if our memory serves us correctly.

Therefore it may be more cost effective to have work carried out off a cherry picker if the is not a lot of repairs.

This is a shared chimney with your neighbour and we would speak to them about sharing costs for it, ideally speak to them before you commit to purchase the property. We have already said a brief hello to the neighbours so they were aware a survey was carried out.



Flaunchings Defined

A low, wide cement mortar fillet surrounding the flue terminal on top of the chimneystack to throw off rainwater.

Flashings Defined

Flashings prevent dampness from entering the property, usually at junctions where materials change. Such a junction is the one between the chimney and the roof.



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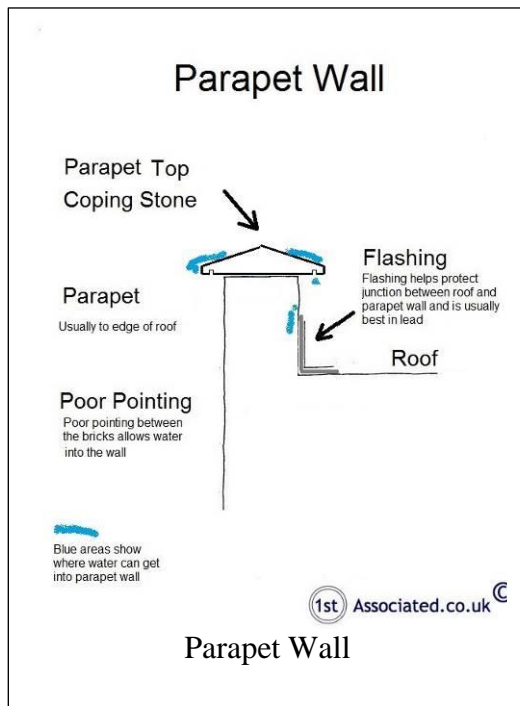
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PARAPET WALLS

Parapet walls are usually walls that are above roof level and often sit on the boundary of the property.

The parapet walls are brick with a coping stone of stone and lead flashing. From what we could see from ground level they look in average condition considering its age, type and style, although having said that we can see there have been cement repairs to the brickwork and we can also see that there is deteriorating plaster within rooms on the gable ends of the property around the parapet walls. Therefore we think there may be a combination of some dampness getting in, perhaps on the joints of the coping stones and through the walls, with problems themselves identified in the Executive Summary.



ACTION REQUIRED: It could be down to the drip detail on the coping stones, which could be a historic defect which you just need to consider part of the characteristic of the property. This is another detail we would like to see how it performs when it is raining heavily.

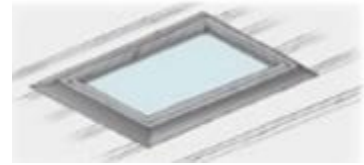


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ROOF WINDOWS



Also known as roof lights or Velux windows which is the trade or generic name)

High level roof windows

The property has two purpose made roof windows at high level, which looked in below average condition, we believe they are letting in water.

The important factor with roof windows is the flashing around them, in this instance we would comment the flashing is lead.



Roof windows



Roof window in room in roof letting in water

ACTION REQUIRED: Checking flashing and replace as necessary and ensure the roof windows are watertight.



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Low level Kitchen roof windows

There are also two purpose made roof windows to the rear single storey flat roof kitchen extension. We would comment they are domed roof windows, which is probably our preferred style on flat roofs, however this is a flat, flat roof and we can see the greening of the roof from build up of moss from where water has been sitting on the roof, which we believe will sooner or later mean rainwater will get through.

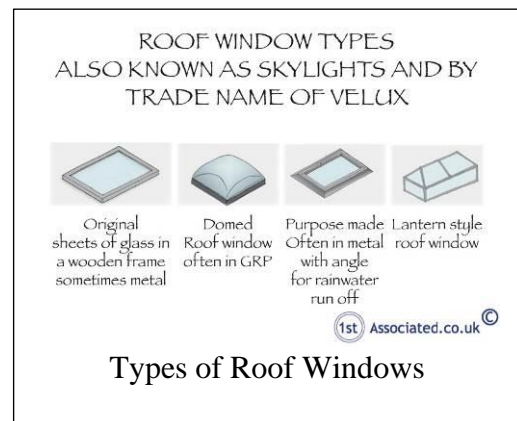


ACTION REQUIRED: Check the flashings around the roof windows.

We have mentioned elsewhere within the report that you have to decide what you want to do with this roof as a whole. We would add that we do think roof windows can be a good way of letting light into dark areas, as in this case, but you do need to ensure the flashings and detailing are kept watertight.

Roof windows/roof lights defined:

Roof windows/roof lights generally sit in line with the roof pitch and are often used to allow rooms to be formed in the roof space or where light is needed internally. They are also commonly known by their trade name of 'Velux' windows or skylights.



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PARTY WALLS

The party wall relates to shared items, such as the chimneys and firewalls. If you do any work on these, you will need to deal with the Party Wall Etc. Act 1996. Here is a brief explanation of it.

Party Structures Defined - Party Wall Etc. Act 1996

A structure that both parties enjoy the use of or benefit from. An example of this would be where both parties gain support from a wall or utilise a chimney or chimneys.

Any work to party structures, such as party walls or party chimney stacks, requires agreement under the Party Wall Etc. Act 1996. We would be more than happy to offer you help and advice in this matter.

Specifically, in this case the rear chimney is letting dampness and, as mentioned, we recommend you chat to the neighbours about this as it should be a shared cost.

Party Structures Defined - Party Wall Act Etc. 1996

A structure which both parties enjoy the use of or benefit from. An example of this would be where both parties gain support from a wall or utilise a chimney or chimneys.

Any work to party structures, such as party walls or party chimney stacks, require agreement under the Party Wall Act. We would be more than happy to offer you help and advice in this matter.

Finally, we have made our best assumptions on the overall condition of the chimney stacks, parapet walls, roof windows from the parts we could see above roof level. The inspection was made from ground level within the boundaries of the property (unless otherwise stated) using a x16 zoom lens on a digital camera and/or aerial photographs. A closer inspection may reveal latent defects.

Please also see Chimney Breasts, Flues and Fireplaces Section of this Report.

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MAIN ROOF COVERINGS

The Roof Coverings and Underlayers section considers the condition of the outer covering of the roof. Such coverings usually endure the extremes of climate and temperatures. They are susceptible to deterioration, which ultimately leads to water penetration.

Dependent upon the age of your property and the type of construction a protective underlayer may or may not be present, please read on:

We will consider the roofs in four areas

1. Main Roof, left and right side
2. Box bay window roof
3. Right side pitched Roof
4. Rear flat roof

Main Roof, left and right side

The roof is pitched and clad with slate and, from ground level, this looks in below average condition considering the roof's age, type and style.

Do not underestimate the amount of work that will need to be carried out to the high level roofs. We believe they are letting water in. They have been patch repaired a great deal using tingles.



Left roof (black circle) and right roof (white circle)



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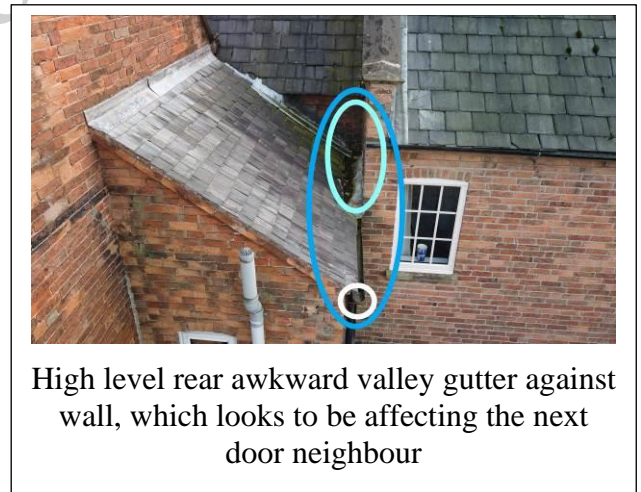
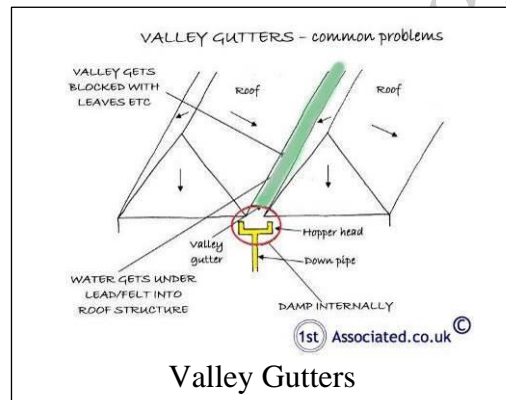
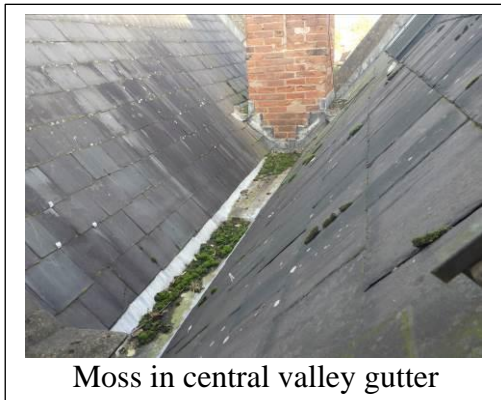
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ACTION REQUIRED: Please see our comments in the Executive Summary.

We have suggested some temporary repair work and some ways to limit further damage, however ultimately it will need re-roofing.

Awkward valley gutters

There are three awkward valley gutters.



ACTION REQUIRED: Please see our comments in the Executive Summary.

As well as allowing dampness into your property we believe they are causing problems on the neighbouring property so we recommend you go and chat to the neighbours.

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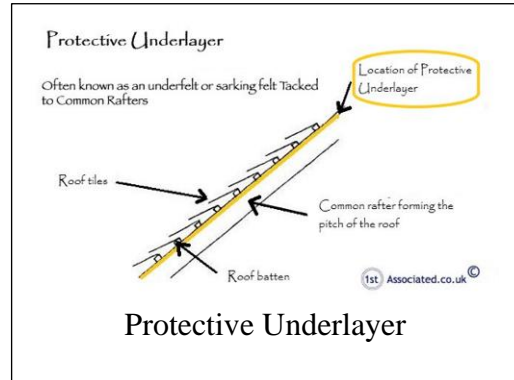
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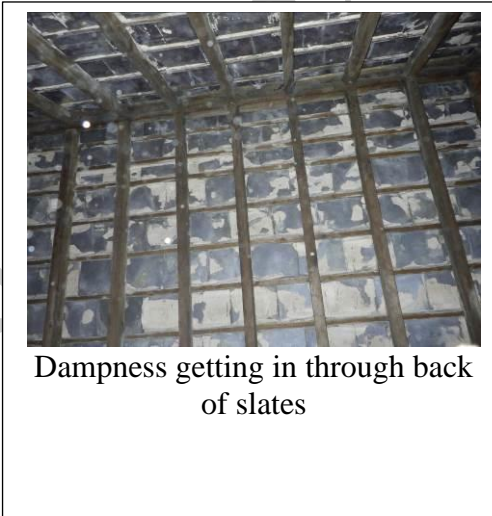
PROTECTIVE UNDERLAYERS

From the 1940s onwards felts were used underneath tiles/slates to stop wind damage and water penetration, these in more recent years have been replaced with plastic equivalents. These are commonly known as underfelts but now the name is not really appropriate, as felt is not the only material used.

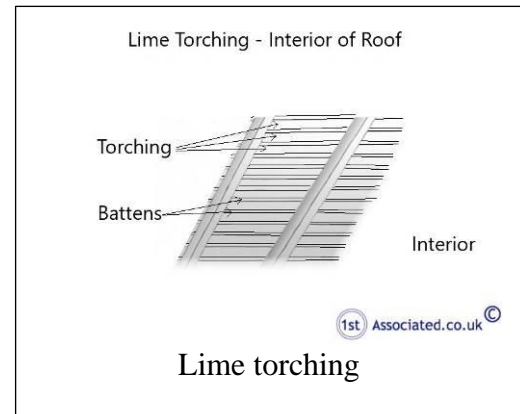


In this case, the roof does not have a protective underlayer. It is bedded on mortar, known as torching, originally it would have been lime, however often, as in this case, it is replaced with cement. In this particular case a lot of the mortar is no longer there.

Most importantly we can see that dampness is getting in.



ACTION REQUIRED: Please see our comments in the Executive Summary.



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BAY WINDOW ROOFS

These are flat roofs covered with what looks to be stone. They looked in average condition, with some moss build up, from our view, which was limited.



ACTION REQUIRED: Periodic inspection.

REAR LOW LEVEL PITCHED ROOF

This roof is pitched and clad with slate. We had a limited view of this roof, we think there could be problems where the awkward valley gutter is. We think it very likely there will be some rot to the rafter feet in this area.

We can see that slates are uneven and there are quite a number of tingles.

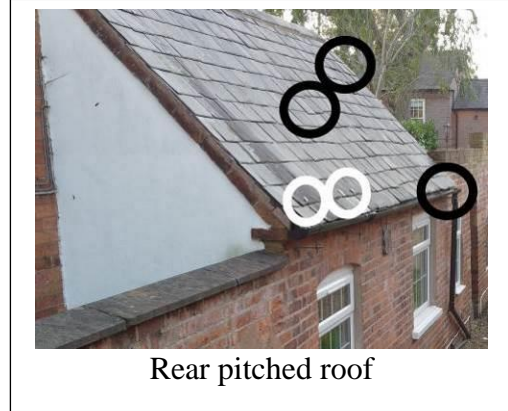


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Key for above photo, showing sample of problems	
White circles	Sample of the tingle repairs
Black circles	Slipped or damaged slates
Blue oval and arrow	Awkward valley gutter

ACTION REQUIRED: We did not gain access into this roof during the survey and we would be more than happy to comment upon any photos taken before you legally commit to purchase the property.

Please see our comments in the Executive Summary.

ANTICIPATED COST: In the region of £2,500 to £5,000 to repair/replace slates. Please obtain quotes before you legally commit to purchase the property.



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FLAT ROOFS

Whilst these roofs are called "flat", present building regulations and good building practice presently requires a minimum fall of 12 degrees.

Flat roofs are formed in a variety of materials. Difficulties can arise when the water is not discharged from the roof but sits upon it, as this can soon lead to deterioration which flat roofs are renowned for.

Rear Flat Flat Roof

The flat roof over the kitchen is located to the rear and is covered with mineral felt and two roof windows. It is a flat, flat roof with a covering of moss, indicating water has been sitting upon the roof, which will cause accelerated deterioration of the roof.



ACTION REQUIRED: Please see our comments in the Executive Summary.

Further information on flat roofs

When you come to renew the flat roof there are generally new standards relating to flat roofs. These can broadly be put into ventilation and insulation, please read below.

Ventilation

Building Regulations now require flat roofs to be ventilated. Building Regulations are not retrospective but the reason for the requirement is to make sure that any moisture that enters the roof construction is dispelled by way of ventilation. We would suggest that if the opportunity arises ventilation should be provided.

Insulation

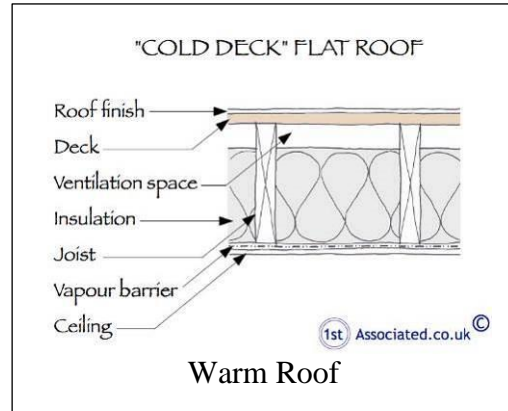
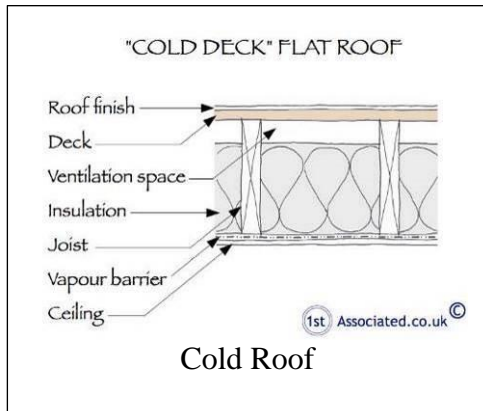
Also it could not be established if there is insulation within the roof or a vapour barrier, without the vapour barrier and combined with inadequate ventilation there will be an increase in the risk of wet or dry rot.



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Finally, we were only able to see approximately ten to twenty percent of the main roof properly from ground level via our ladder or via any other vantage point that we managed to gain and conclusions have been based on our aerial photos.

For further comments with regard to ventilation please see the Roof Structure and Loft Section.



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ROOF STRUCTURE AND LOFT

The roof structure or framework must be built in a manner which is able to give adequate strength to carry its own weight together with that of the roof covering discussed in the previous section and any superimposed loads such as snow, wind, foot traffic etc.

Main Roof

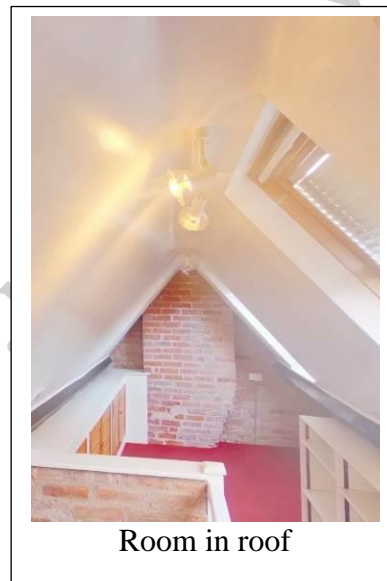
Roof Structure

We had a limited view of the roof structure on one side due to the room being formed in the roof.

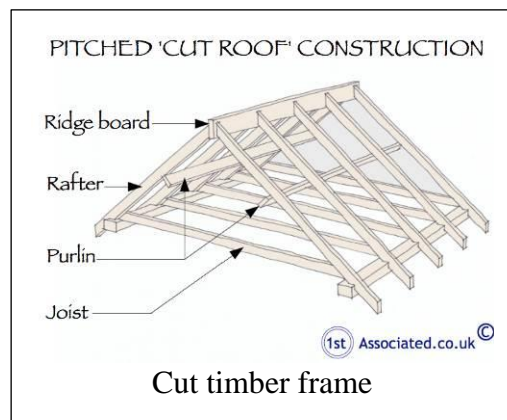
We were unable to see any accessed in the room in the roof to the left side.

Our main view of the roof was to the right hand side where we could see it is a substantial roof with purlins supports onto brick supporting walls.

This type of roof structure has what is known as a cut timber roof. This is a roof that is purpose made and hand built on site.



Room in roof



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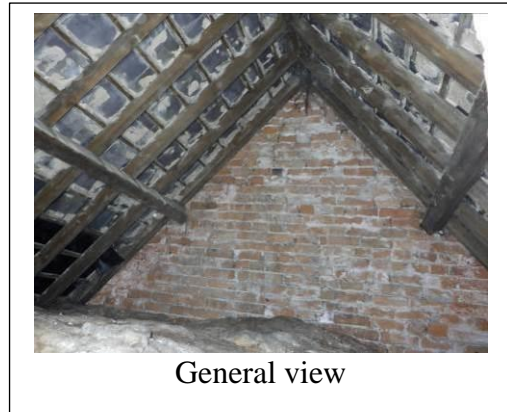
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Roof Timbers

We have inspected the roof structure for:-

1. Serious active wood destroying insects
2. Structurally significant defects
3. Structurally significant dry rot
4. Structurally significant wet rot



Our examination was limited by the general configuration of the roof, the insulation and stored items. What we could see was generally found to be in below average condition for its age, type and style due to the dampness getting in. It is, however, feasible that there are problems in the roof that are hidden.



It is a relatively large span which means that the dampness getting into the structure is not ideal and we believe it needs work on it sooner rather than later to make it watertight. Do note, this is an important point.

ACTION REQUIRED: Please see our comments in the Executive Summary.

We would wish to talk to you about the roof as you must not under-estimate the size of this project and you need to be fully aware of it.

Common Rafters Defined

Timbers which form the pitch of the roof.

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Purlins Defined

Purlins are the horizontal cross members that give support to the common rafters.

Firewalls

The property has firewalls located to the rear left side near the rear chimney number two. This is simply a brick wall to stop fire spreading from one roof to another. It was also built as a constructional detail before such things as fire walls and the spreading of fire had been considered. The firewall is also a Party Wall.

Firewalls Defined

Firewalls help prevent the spread of fire through roofs and are a relatively recent Building Regulation requirement.

Water Tanks

There are plastic water tanks with lids in the room in the roof. Water tanks can be very good at giving a head of water pressure in a building such as this.



ACTION REQUIRED: We would always recommend that the water tanks are drained down and cleared of any debris, etc. As you are often cleaning your teeth with this water it is best that it is as clean as possible! We would generally recommend you may want to change the water tanks.

Ventilation

The roof is naturally ventilated due to it sitting on a bed of mortar, known as torching. Most roofs today would have a secondary protective underlayer, a modern version of which is breathable, which means that if any dampness does get through the slates it is then protected which you do not have in this case.



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Insulation

Please see the Thermal Efficiency Section of this Report.

Electrical Cables

We can often identify the age of an electrical installation by the age of wiring found in the roof.

In this case we could not see it due to the mass of insulation.

Finally, we would ask you to note that this is a general inspection of the roof, i.e. we have not examined every single piece of timber. We have offered a general overview of the condition and structural integrity of the area.



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GUTTERS AND DOWNPIPES

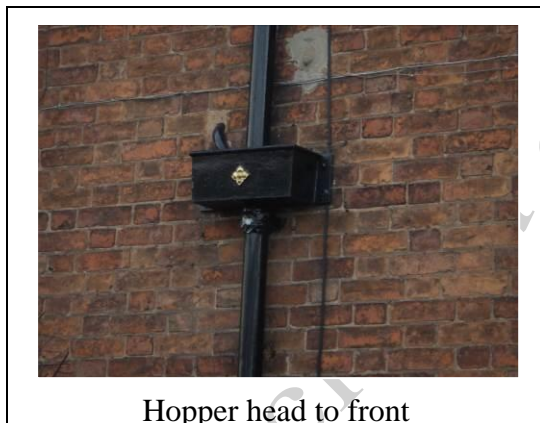


The function of the gutters and downpipes is to carry rainwater from the roof to the ground keeping the main structure as dry as possible.

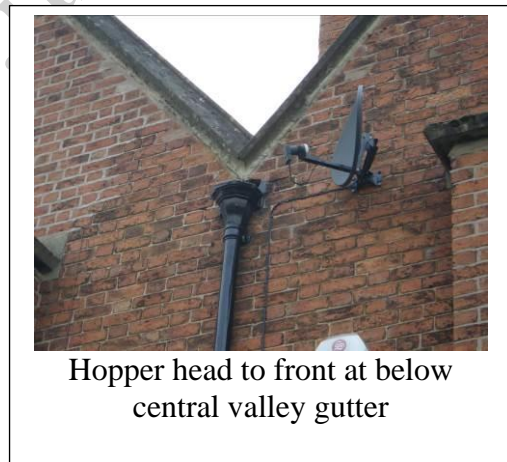
Defective gutters and downpipes are a common cause of dampness that can, in turn, lead to the development of rot in timbers. Regular inspection and adequate maintenance are therefore essential if serious problems are to be avoided.

Hopper Heads, Gutters and Downpipes

The property has cast iron and plastic hopper heads, gutters and downpipes. They are in average condition for their age, type and style. We would say that the way that our climate is changing where seem to be getting more intense rain means that they may simply be able to not cope.



Hopper head to front



Hopper head to front at below central valley gutter

Hopper Head Defined:

A large funnel head at the top of a downpipe to catch the gutter rainwater.

Hopperhead with Overflow



Hopperhead, increases the capacity of the rainwater

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Hopper head with overflow pipe



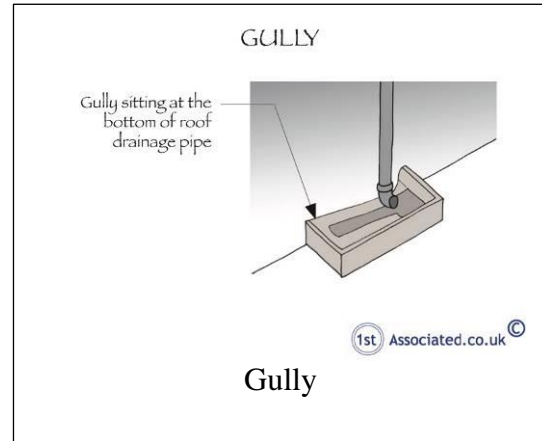
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Downpipes feed into gullies

We were pleased to see the downpipes feed into gullies. We would ideally like to see them bigger but at least there are gullies and can clear the leaves from these.



ACTION REQUIRED: As mentioned elsewhere within this report, next time it rains heavily you need to stand outside the property and see how well the hopper heads, gutters and downpipes and drains cope with the rainwater particularly looking at the guttering and the joints.

However, the first thing you need to do is clear all the gutters, particularly the blocked valley gutters as soon as possible and check the joints and the alignments to ensure that the gutters fall towards the downpipes.

SOIL AND VENT PIPE

The property has plastic soil and vent pipes to the rear. Originally it is likely to have been cast iron. They do go into the awkward valley gutter.

We did run the taps in the bathroom and flushed the toilet and they ran away without backing up.



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Finally, gutters and downpipes and soil and vent pipes have been inspected from ground level. As it was not raining at the time of the inspection it is not possible to confirm one hundred percent that the rainwater installation is free from blockage, leakage etc. or that it is capable of coping with long periods of heavy rainfall. Our comments have therefore been based on our best assumptions.

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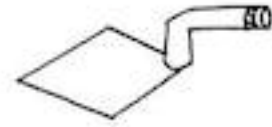
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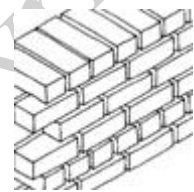
WALLS



External walls need to perform a variety of functions. These include supporting upper floors and the roof structure, resisting dampness, providing adequate thermal and sound insulation, offering resistance to fire and being aesthetically presentable.

The walls are finished with brickwork.

BRICKWORK



Brickwork

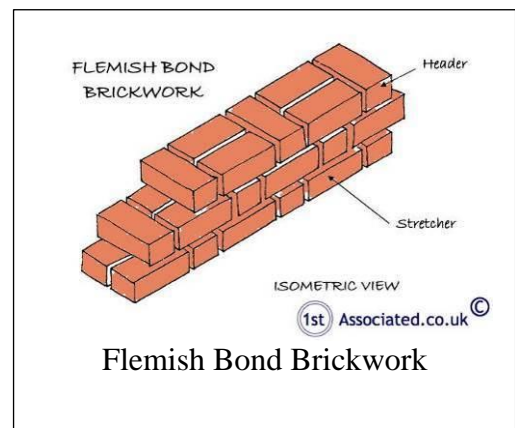
The property is finished in a brick originally in a lime mortar in what is known as Flemish bond or variable bond brickwork, with Stretcher bond brickwork to the rear kitchen extension.



Vertical joint crack to left side variable bond brickwork

Flemish bond brickwork

The term Flemish Bond relates to the way the bricks are bonded together and have a pattern visible from the outside of the property that shows the end of the brick (header), then the side of the brick (stretcher), then the end of the brick, then the side of the brick, and this pattern repeats course after course, i.e. header-stretcher, header-stretcher.



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Timber lintels and bonding timbers

Before the 19th Century, the practice of building timbers into external walls was almost universal. These were known as bonding timbers. They are of course prone to rot as solid walls allow dampness through. Unfortunately, without opening up the structure, we are unable to confirm if this is the case.

Condition

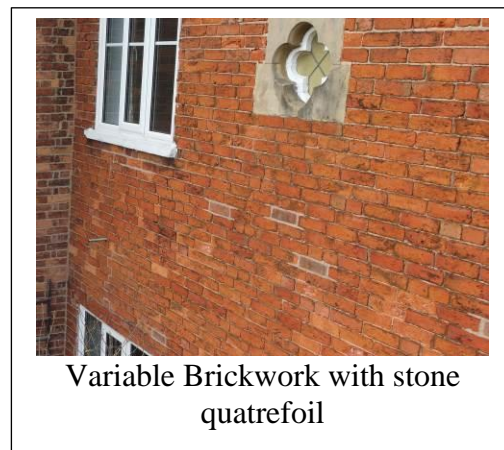
Generally Flemish Bond brickwork is liable to penetrating dampness internally, dependent upon the condition of the brickwork and the exposure to the weather. It is essential that external faces be kept in good condition.

In this case many of the bricks have been repointed incorrectly using cement mortar, some replaced with different bricks causing a spotted dog effect, all of which can be repaired but they are fairly difficult and time consuming repairs and you need to find the right person to work on this over time.



Variable, or local, bond brickwork

Variable, or local, bond brickwork is an early brick bond which does not follow a set pattern. The reason we use variable or local bond as a term is because this really is not a standard bond we are aware of and it tended to be local practices of how to build.



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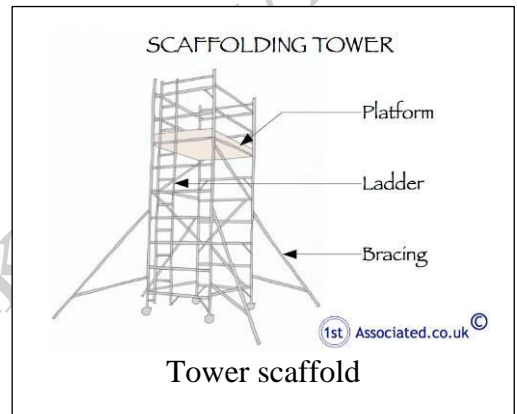
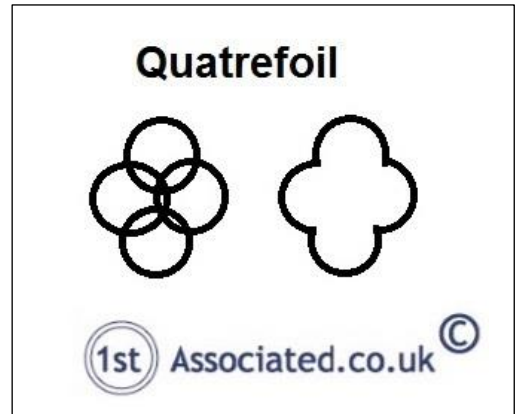
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This we believe was one of the older areas and it has a quatrefoil in it, which have seen variations of over the years on churches, schools and high order buildings. We understand the original ones were created from a stonemason's scratch compass. It is similar to what you see in the Freemason's symbol of a Mason square and compasses.

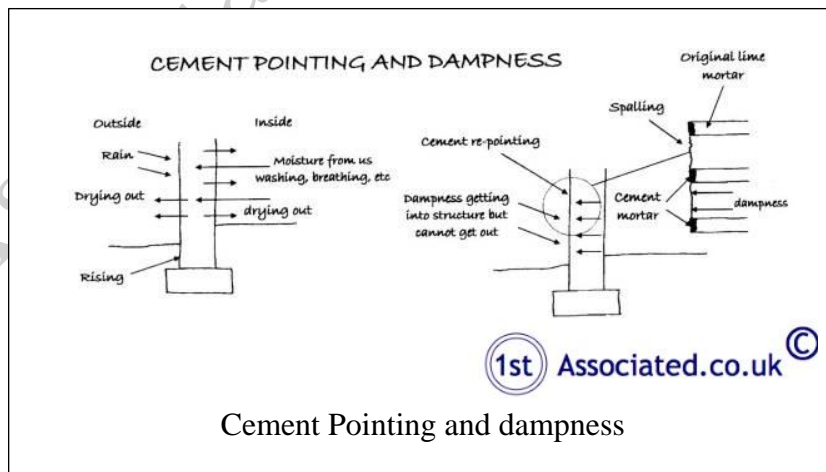
We did note a vertical joint crack to the left side.

When we spoke about this you advised you have previously worked with lime on a Victorian property so you will appreciate the work to some extent. In this case, you have high level work as well, which can be expensive as you will need scaffolding, although an element of it could, we think, be carried out off good quality tower scaffolding, which we would recommend you purchase.



Getting the building to 'breathe' again

Probably our main message we would like to pass to you with regard to this building is that you need to get it 'breathing' again so that it can dissipate the dampness and the dampness does not sit in the structure.



ACTION REQUIRED: Find the oldest/most experienced bricklayer you can to repoint/repair the brickwork with lime mortar.



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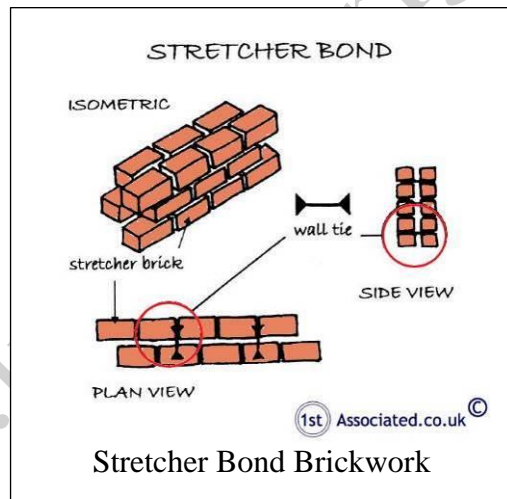
Stretcher bond brickwork

The kitchen extension to the rear is finished in a Stretcher bond brickwork in a cement based mortar.



Stretcher bond brickwork to rear kitchen extension

The term "Stretcher Bond" means that from the outside of the property, you can see a row of the sides of the bricks (known as "stretchers") followed by a course above of the same stretch of bricks set off so the joint is centrally above the "stretcher". This pattern would repeat throughout.



Cavity walls

Cavity walls were first used in Victorian times. It originates from solid walls not always being waterproof against driving rain and not providing a good degree of thermal insulation. The design of cavity walls makes them relatively unstable and they depend upon the wall ties.

Wall ties

Walls of cavity construction should incorporate ties to hold together the inner and outer leaves of masonry. We usually look for horizontal cracking where there is older style Stretcher bond brickwork, such as this, to see if the wall ties are rusting and forcing open the brickwork.

In this instance we could not see significant horizontal cracks however wall tie failure is a progressive problem. We would add as there is no access to the cavity it has not been inspected and we cannot comment on the presence or condition of the wall ties. As such we cannot be one hundred percent certain with regard to this problem unless we open up the structure.



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Finally, the external walls have been inspected visually from ground level and/or randomly via a ladder. Where the window and door lintels are concealed by brickwork (various different bonds) / plasterwork we cannot comment on their construction or condition. In buildings of this age timber lintels, concrete lintels, rubbed/gauged brick lintels, stone lintels or metal lintels are common, which can be susceptible to deterioration that is unseen, particularly if in contact with dampness.

Our comments have been based upon how the brickwork / plaster has been finished. We have made various assumptions based upon what we could see and how we think the brickwork / plaster would be if it were opened up for this age, style and type of construction. We are however aware that all is not always as it seems in the building industry and often short cuts are taken. Without opening up the structure we have no way of establishing this.



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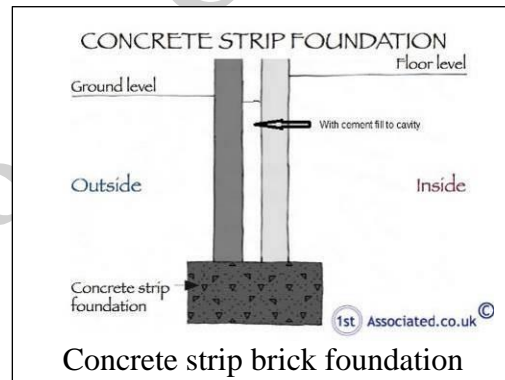
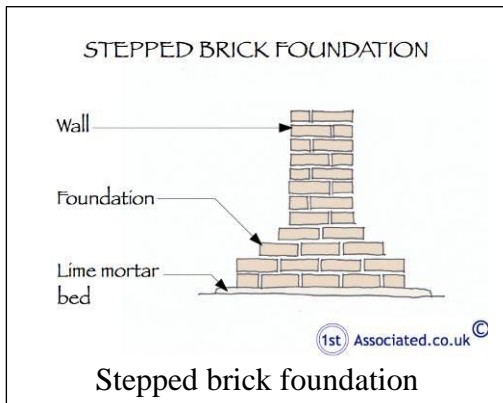


FOUNDATIONS

The foundations function is, if suitably designed and constructed, to transfer the weight of the property through the soil. As a general comment, many properties prior to the 19th Century have little or no foundations, as we think of them today, and typically a two-storey property would have one metre deep foundations.

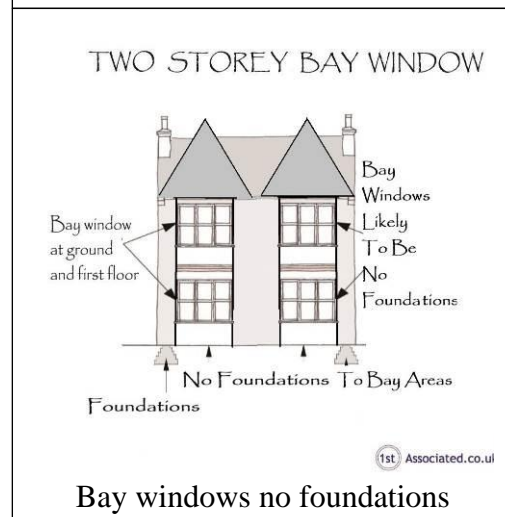
Foundations

Given the age of the property you may find different depths of foundations. We would expect to find a stepped brick foundation possibly with a bedding of lime mortar with a concrete strip foundation to the newer areas.



Bay Windows

Bay windows in this era of property typically do not have foundations underneath them and have been subject to movement. We are aware that some insurance companies underpin bay windows with a modern foundation. We think this is often excessive and unnecessary and would be happy to comment further on this if you ever find yourself in this situation.



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Building Insurance Policy

You should ensure that the Building Insurance Policy contains adequate provision against any possibility of damage arising through subsidence, landslip, heave etc.

It is your responsibility to check out prior to commitment to purchase that insurance is available on the property on the basis of the things we have reported in the survey. Much as we would like to we are unable to keep up with the changing insurance market and give you advice with regard to this.

We would refer you to our comments with regard to building insurance throughout this report.

We would always recommend that you remain with the existing insurance company of the property.

Cracks

Please remember to talk about any cracks identified within the property. Often insurers will refer to progressive and non-progressive cracking. Unfortunately this is something we are unable to comment upon from a one-off inspection; the Building Research Establishment recommend a year of monitoring of any cracking.

We would refer you to our comments with regard to building insurance throughout this report. We would always recommend that you remain with the existing insurance company of the property.

Finally, we have not excavated the foundations but we have drawn conclusions from our inspection and our general knowledge of this type, age and style of property. As no excavation has been carried out we cannot be one hundred percent certain as to how the foundation has been constructed and we can only offer our best assumptions and an educated guess, which we have duly done.

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TREES, BUSHES AND VEGETATION



Trees within influencing distance of a property can affect the foundations by affecting the moisture content of the soil.

There is a tree to the rear garden. We think it could be doing some good with regard to taking water away from the property, however it could also damage nearby walls and does need maintaining.

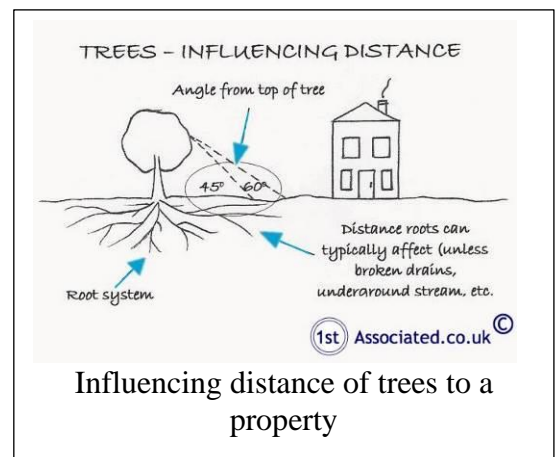
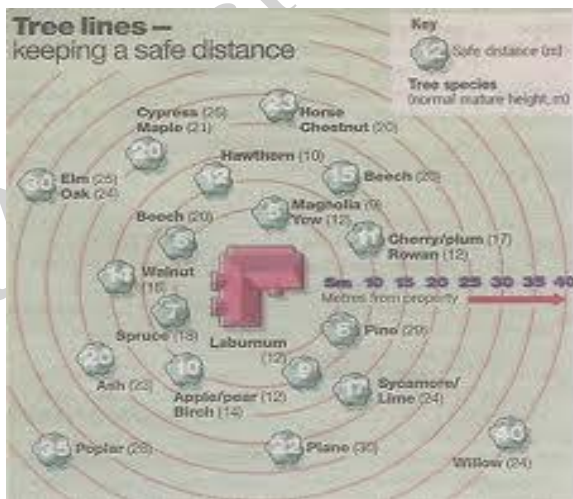
It is not within what we would term as influencing distance of the property, although you would need to check this with your insurance company.



Tree to end of garden

ACTION REQUIRED: Please see our comments in the Executive Summary.

Take advise from someone who knows how to maintain trees. We generally recommend an arboriculturalist (not a tree surgeon) is asked to view the tree and give a ten year plan for maintenance of the trees. We would also ask them whereabouts fruit trees, etc, would be good to plant in the garden to help the water travelling down.



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Influencing Distance Defined

This is the distance in which a tree may be able to cause damage to the subject property. It is not quite as simple as our sketch; it depends on the tree, its maturity, the soil type etc., etc.

Finally, insurance requirements with regard to trees have varied over the years and in our opinion have got ever more onerous. We have seen the notifiable distance of a tree away from a property to have been reduced over the years and we reiterate our comments elsewhere within this report that you need to make enquiries with regard to the insurability of your property in relation to trees and other features when you purchase the property

Please also refer to the External Areas Section.



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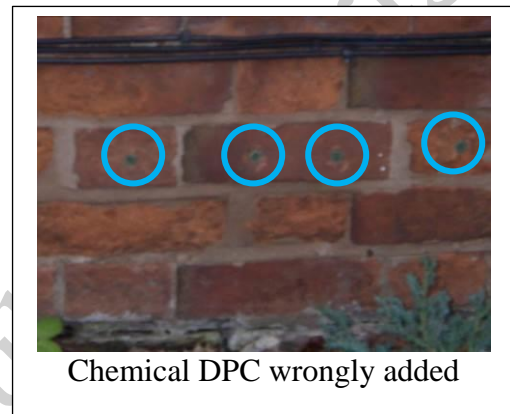
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DAMP PROOF COURSE

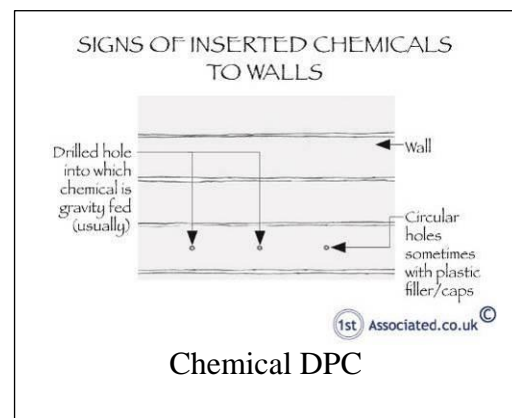
The Building Act of 1878 required a damp proof course to be added to all newly built properties within the London area. It also required various other basic standards. These requirements were gradually taken up (or should that be grudgingly taken up) throughout London and then the country as a whole, although this took many years for it to become standard practice.

In properties of this age, it is unlikely that a damp proof course (DPC) would have been built in originally however often they have had damp proof courses added at a later date. In this case, we can see what looks like a chemical DPC has been added, which is inappropriate for this era of property.



Chemical DPC's

We would like to mention that chemical damp proof courses can sometimes cause more problems than they solve. From the research we have read generally in older properties it is considered that they do not work. We do believe that they can cause problems, particularly where things such as waterproof renders and waterproof plasters have been used on older construction, where the construction is meant to 'breathe'/dissipate dampness, like an overcoat rather a plastic raincoat!



ACTION REQUIRED: We would ask the owners if they have any information with regard to the chemical damp proof course. Then look to remove any chemical waterproof renders or plasters that may have been added. We would move in this era of building to one that 'breathes'.



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Your attention is drawn to the section of the report specifically dealing with dampness.

Finally, sometimes it is difficult for us to identify if there is a damp proof course in a property. We have made our best assumptions based upon our general knowledge of the age, type and style of this property.

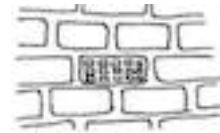
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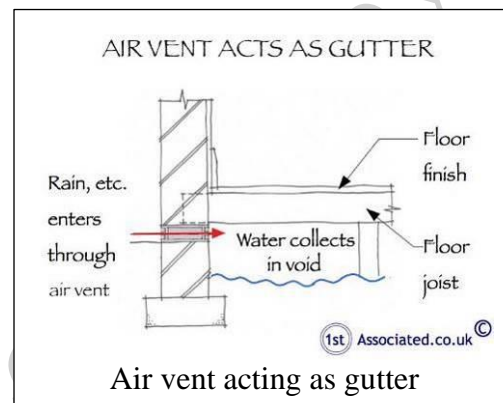
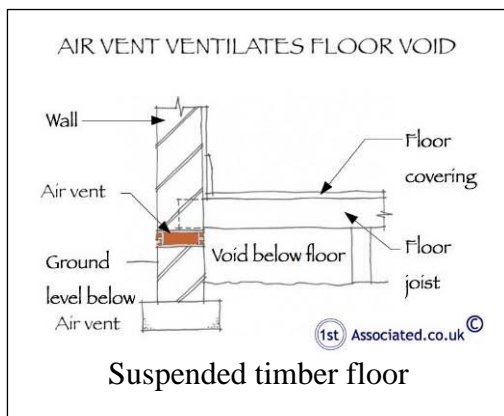


AIR VENTS

In properties with suspended floors you need to have an airflow beneath to stop deterioration. The air is allowed to pass under the property by the use of air vents. Generally the rule of thumb is that airbricks are spaced every metre and a half approximately, but this depends upon the specific circumstances of the property.

Low Level Air Vents

Air vents are essential to have a through flow of air as this helps to reduce the chances of wet rot, dry rot and woodworm. In this case, the air vents are acting as gutters.



ACTION REQUIRED: Please see our comments in the Executive Summary.

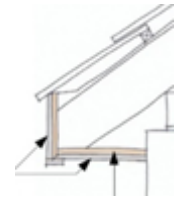
Finally, we have made our best assumptions based upon our visual inspection of the outside of the property and our general knowledge of this age, type and style of construction. We have not opened up the floor, unless we have specifically stated so in this section.



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FASCIAS AND SOFFITS

This section covers fascias, soffits and bargeboards and windows and doors, and any detailing such as brick corbelling etc.

Fascias and soffits offer protection to the rafter feet and also allow the securing of the guttering. Windows primary functions are to admit light and air, but they also have thermal and sound properties. The doors allow access and egress within the property.

Much of the property has parapet walls. There are some fascias boards;

For example:

To the kitchen area

Although these are hidden to some extent by the guttering.

The fascias were in average condition where we could see them.

It is the parapet wall that look to be allowing dampness in.

ACTION REQUIRED: Please see our comments in the Executive Summary regarding the parapet walls.

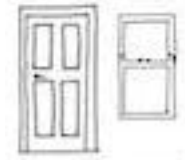
Make sure gutters and downpipes are watertight before carrying out any work on fascias and soffits.



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WINDOWS AND DOORS

The property has mixture of timber single and double glazed windows, with some plastic double glazed windows.

The front windows are set into stone mullions.

Painted timber single glazed windows

Generally we would comment they are slightly below average quality for their age, type and style with flaking paint.



Front box bay windows

Knife Test

We have tested the windows by pushing a knife into a random selection. We generally tend to do the lower windows as access to these is easier.

ACTION REQUIRED: Repair, prepare and redecorate.



Knife test, flaking paint

Double glazed windows

These are to the rear of the property, with windows and doors. The double glazed door was fully glassed, we personally would not have this as we do not feel they are that secure, however it is a personal choice.

We would draw your attention to the fact that sealed double glazed units can fail, particularly as a result of poor workmanship during installation. Failure of the seal leads to condensation between the two panes of glass and simply replacing the affected units may not provide a satisfactory long-term solution.



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Building Regulations/FENSA

Your Legal Advisor to specifically ask the existing owners have they got Building Regulations/FENSA certificates.

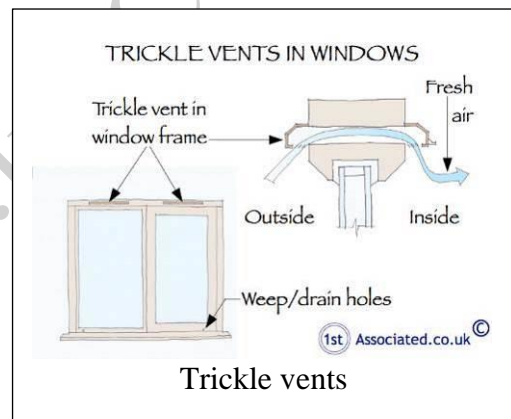
Transferable Guarantees

Enquiries should be made as to the existence of any transferable guarantees by your legal advisor. Generally it is considered that double glazed units have a life of about ten to twenty years.

We would also advise that if you do have any new windows you may be able to find some old photographs that give you a good indication of how the windows used to be like on this property.

Trickle Vents Defined

Trickle vents allow a trickle of air through, therefore stopping/reducing the likelihood of condensation occurring within the property.



Finally, we have carried out a general and random inspection of the external joinery. In the case of the fascias and soffits, it is typically a visual inspection from ground level. With the windows and doors we have usually opened a random selection of these during the course of the survey. In this section, we are aiming to give a general overview of the condition of the external joinery. Please also see the Internal Joinery section.

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EXTERNAL DECORATION

The external decorations act as a protective coat for the building from the elements. Where this protective covering has failed, such as with flaking paintwork, the elements will infiltrate the structure. This is of particular concern as water is one of the major factors in damage to any structure.

The external decorations are in slightly below average condition.

Finally, ideally external redecoration is recommended every four to five years dependent upon the original age of the paint, its exposure to the elements and the materials properties. Where this is not carried out repairs should be expected. Ideally redecoration and/or cleaning should be carried out during the better weather between mid-April and mid-September.

Please see our comments in the External Joinery section.



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INTERNAL

CEILINGS, WALLS, PARTITIONS AND FINISHES



In this section, we look at the finish applied to the structural elements such as the plasterwork applied to the ceiling joists, walls or partitions, together with the construction of the internal walls and partitions.

Ceilings

From our visual inspection of the ceilings and our general knowledge of this age and type of construction, we believe that the original ceilings are likely to be lath and plaster with plasterboard and/or proprietary boarding to the newer parts, such as the room formed in the roof and the rear kitchen, indeed areas that have been replaced or repaired.

Bathroom ceiling

The ceiling in the family bathroom is boarded, we wonder whether there has been a leak from the roof above this area, although we do come across boarded ceilings sometimes in older properties.



Boarded ceiling in bathroom

Plaster covings with ogee mouldings

Some of the rooms have some quite magnificent ogee ceiling mouldings, such as the front lounge.



Moulding in Lounge



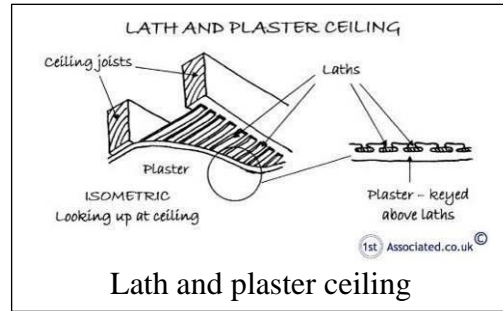
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Lath and Plaster Defined:

Laths are thin strips of timbers which are fixed to the structure. Wet plaster is applied to the laths, usually in several layers. The plaster forms a key as it is forced between the laths. This plaster, once dry, is given further coats and often a decorative finish.



Plasterboard Defined:

The usual name for Gypsum plasterboard which is building board with a core of aerated gypsum, usually enclosed between two sheets of heavy paper, used as a dry lining.

Proprietary boarding defined:

Proprietary boarding are one-off special manufactured boards commonly used in years gone by which are now popular again.

Cracking

We noted some internal cracking in the room in the roof, which is a crack in modern plaster. This is often caused by dampness, which we think is the case in this instance, sometimes differential movement where different materials are moving at different rates.



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We also noted cracking in a few of the ceilings to the front of the property which we believe relates to dampness coming through from the parapet walls and/or the valley gutters.

ACTION REQUIRED: Please see our comments in the Executive Summary.

Internal Walls and Partitions

These are, we believe, predominantly solid construction. It is of course impossible to determine the construction without opening up the walls and we have therefore taken an educated guess.

Removed walls

A wall has been removed to form the rear kitchen/diner extension. We think this wall is likely to partly be supporting the roof above which is pitched.

ACTION REQUIRED: Further investigation required.



Perimeter Walls

Originally these would have been constructed with a wet plaster, possibly a lime plaster. We now believe they have a skim coat of modern plaster/are modern plaster. There may also be some waterproof plaster where chemical damp proof coursing has taken place.

This comment has been based on the visual look of the wall which is relatively “smooth” and normally means a modern finish.

Again, we cannot be one hundred percent certain of the wall construction without opening them up which goes beyond the scope of this report.



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Undulating plaster

We noted some undulating plaster in the front bedroom on the exterior wall caused we believe by dampness coming through the walls.

In some ways it is not surprising there is dampness in the property when it has not been occupied for some time, particularly when there are areas where repointing is needed externally and also areas where there has been cement repointing.



Finally, ceilings, walls and partitions have been inspected from floor level and no opening up has been undertaken (unless permission has been obtained by yourselves). In some cases, the materials employed cannot be ascertained without samples being taken and damage being caused.

We cannot comment upon the condition of the structure hidden behind plaster, dry lining, other applied finishes, heavy furniture, fittings and kitchen units with fitted back panels.

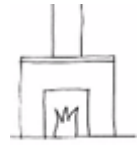


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CHIMNEY BREASTS, FLUES AND FIREPLACES



With the advent of central heating fireplaces tend to be more a feature than an essential function in most properties.

The chimney breasts are located to the middle and rear of the property.



Fireplace



Fireplace

We noted dampness coming in the around the chimney breast of rear chimney number two both at ground and first floor level.



Dampness in chimney two ground floor level



Dampness coming through from chimney two at first floor level

We think the dampness at ground floor level could be due to the flue condensing from the boiler.



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At the time of the survey no chimneys were in use. The owner advised she does not know whether the chimneys are usable. We understand she has not lived at the property and it a relative once lived there but it has been unoccupied for some time.

Any chimneys that you do not propose to use should be capped and ventilated to prevent dampness.

Any chimneys you do intend to use should be swept and a check should be carried out that a lining is in place.

Finally, we will comment on the condition of the chimney breast where we can see the chimney breast. If we can see a chimney breast has been removed we will inspect for signs of movement and advise. However, often the chimney breasts are hidden so we cannot comment. Also additional support can be concealed very well when chimney breasts are hidden particularly when plastered over.

Your Legal Advisor needs to specifically check with the Local Authority for removed chimneys and associated chimney breasts and Building Regulations Approvals and advise by e-mail immediately if chimney breasts are found to have been removed. We would recommend opening up the structure to check the condition. If we are not advised we will assume the relevant Building Regulations Approval has been obtained.

It is strongly recommended that flues be cleaned and checked for obstructions prior to use to minimise the risk of hazardous fumes entering the building.

Please also see the Chimney Stacks, Flues Section of this report.

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FLOORS



Functionally floors should be capable of withstanding appropriate loading, preventing dampness, have thermal properties and durability. In addition to this upper floors should offer support for ceilings, resistance to fire and resistance to sound transfer.

Cellar

The floors in the cellar are brick paves, often known as briquettes.



Briquettes in cellar

Ground Floor

There is a mixture of a suspended timber floor to the front of the property, which require air movement underneath to minimise wet rot, dry rot and woodworm, and a concrete floor to the rear.

ACTION REQUIRED: Please see our comments in the Executive Summary about the air vents acting as gutters. For this reason we feel the floor should be opened up. There does look to be a section that has been opened up previously and you/your legal adviser should specifically ask the owner about this. We would be happy to comment on any photos taken once the floor is opened up and/or re-visit prior to you legally committing to purchase the property.



Are of floor in dining room which looks as though it has been opened up before



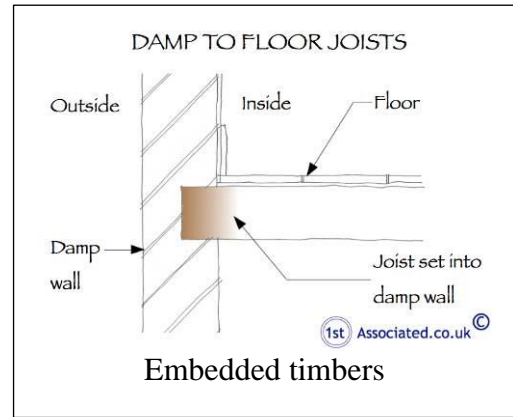
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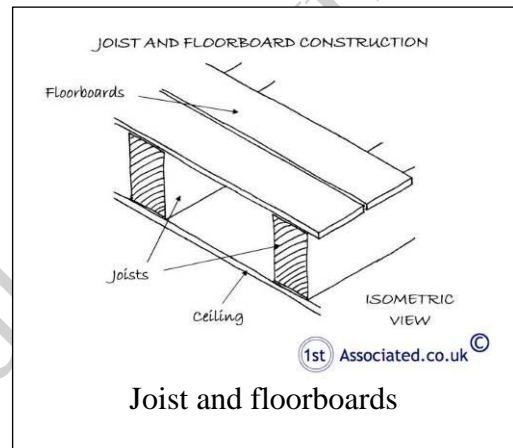
First Floor

We have assumed that the first floor construction is joist and floorboards with embedded timbers, as this is typical in this age of property.



Joist and Floorboard Construction Defined

These are usually at first floor level consisting of a joist supported from the external walls, either built in or, in more modern times, sitting upon joist hangers, sometimes taking additional support from internal walls, with floorboards fixed down upon it.



Room in the Roof

We have assumed with the top floor rooms that the roof has been strengthened to form a floor structure. If there are any drawings of the work carried out we are happy to comment further, otherwise the walls will have to be opened up to check.

Finally, we have not been able to view the actual floors themselves due to them being covered with fitted carpets, floor coverings, etc. The comments we have made are based upon our experience and knowledge of this type of construction. We would emphasise that we have not opened up the floors in any way or lifted any floorboards.

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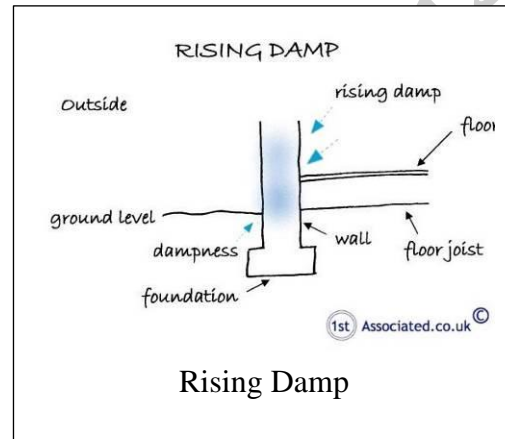


DAMPNESS

In this section, we look at any problems that are being caused by dampness. It is therefore essential to diagnose the source of the dampness and to treat the actual cause and not the effect of the dampness.

Rising Damp

Rising damp depends upon various components including the porosity of the structure, the supply of water and the rate of evaporation of the material, amongst other things. Rising damp can come from the ground, drawn by capillary action, to varying degrees of intensity and height into the materials above. Much evidence points towards there being true rising damp in only very rare cases.



A visual inspection and tests with a moisture meter have been taken to the perimeter walls. In this particular case, we have found some rising damp, however as the property has been unoccupied to some extent this is not surprising.

This is based on our damp meter readings, as well as our knowledge and skill in identifying dampness in this age, type and style of property.



Air vents acting as gutters and sloping site

Also, the dampness could be attributed to air vents acting as gutters and the sloping site to the rear of the property. Please see our comments specifically on these.



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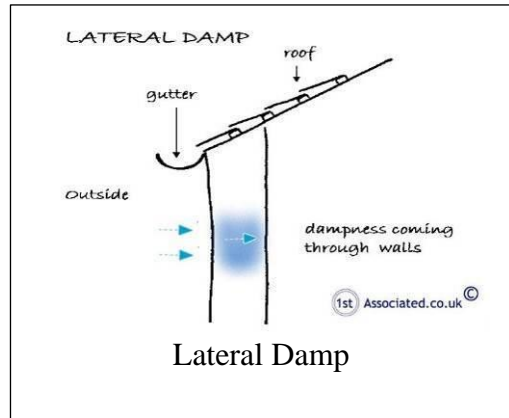
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Lateral or Penetrating Dampness

This is where water ingress occurs through the walls. This can be for various reasons such as poor pointing or wall materials or inadequate gutters and downpipes, such as poorly jointed gutters.



We used a resistance meter on the external walls. We found it to be in line with what we would expect for this age, type and style of property.

This is based on our damp meter readings, as well as our knowledge and skill in identifying dampness in this age, type and style of property.



Patches of dampness

There are patches of lateral dampness in the property which we believe are getting in via the parapet walls and/or the chimneys. See our earlier comments regarding this.

Condensation

This is where the humidity held within the air meets a cold surface causing condensation.

We believe in this property there will be a higher than average chance of condensation occurring and it also has a lack of mechanical extraction. This is important as you need to draw humid air out of this property.

Condensation it depends upon how you utilise the building. If you do your washing and then dry it in a room without opening a window you will, of course, get condensation. You need to have a balance between heating, cooling and ventilation of properties and opening windows to air the property regularly.



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Extract fans in kitchens, bathrooms and drying areas

A way of helping to reduce condensation is to have good quality large extract fans with humidity controlled thermostats within the kitchens and bathrooms and any areas where you intend to dry clothes which are moisture generating areas.

ACTION REQUIRED: Please see our comments in the Executive Summary.

We would recommend large good quality humidity controlled extract fans be added to kitchens, bathrooms and any rooms where you intend to dry clothes.

ANTICIPATED COST: We would anticipate costs between £250 - £500 per extract fan depending upon the wiring required; please obtain quotations before legally committing to purchase the property.

Finally, effective testing was prevented in areas concealed by heavy furniture, fixtures such as kitchen fittings with backboards, wall tiles and wall panelling. We have not carried out tests to BRE Digest 245, but only carried out a visual inspection.



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INTERNAL JOINERY



This section looks at the doors, the stairway, the skirting boards and the kitchen to give a general overview of the internal joinery's condition.

Doors

The property has painted panel doors.



Painted panel door

Staircase

We were unable to examine the underside of the stair timbers due to it being lined where we could see it, which precluded our inspection, so we cannot comment further upon the stair structure. We can, however, say that the lining gives a resistance to the spread of fire if such circumstances were to occur.



Staircase lined

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Kitchen

We found the condition in average condition subject to some wear and tear as one would expect. We have not tested any of the kitchen appliances.

We do think, due to the flat roof, that this kitchen could be prone to condensation.

ACTION REQUIRED: We recommend adding a large good quality humidity controlled extract fan.

Finally, it should be noted that not all joinery has been inspected. We have viewed a random sample and visually inspected these to give a general over-view of the condition. Please also see the External Joinery/Detailing section.

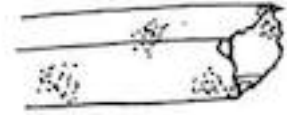


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TIMBER DEFECTS



This section considers dry rot, wet rot and woodworm. Wet and dry rot are species of fungi, both need moisture to develop and both can be very expensive to correct. We would also add that in our experience they are also often wrongly diagnosed.

Dry Rot / White Rot

We have not visually seen any structurally significant dry rot during the course of our inspection.

We would advise that we have not opened up the floors and we had a limited view of the roof.

Wet Rot / Brown Rot

We have not visually seen any signs of structurally significant wet rot during the course of our inspection. There may be some underneath the floor and may also be some in the roof hidden from sight, particularly we would expect deterioration around the awkward valley gutters.

Again, we would advise that we have not opened up the floors and we had a limited view of the roof.

ACTION REQUIRED: Please see our comments in the Executive Summary regarding awkward valley gutters and also opening up the floor.



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Wood destroying insects (such as woodworm and beetles, etc)

Active wood destroying insects (such as woodworm and Death Watch beetles, etc) can cause significant damage to timber. There are a variety of wood destroying insects that cause different levels of damage with probably the most well known being the Death Watch Beetle. Many older properties have wood destroying insects that are no longer active, this can often be considered as part of the overall character of the property.



The roof is usually the main area where we look for wood destroying insects. Within the roof we found no obvious visual signs of significant wood destroying insects activity or indeed past signs of significant wood destroying insects activity that has caused what we would term 'structurally significant' damage. In many properties there is an element of wood destroying insects that are not active.

Wood Destroying Insects Defined

By this we mean wood boring insects. Historic England identify between 20 and 30 different types. For the avoidance of doubt, we would refer wood boring insects to include beetles and/or similar however we do not identify specific types.

Our inspection is usually restricted by insulation covering some of the timbers and general stored items in the roof, as it is restricted throughout the property by general fixtures and fittings.

ACTION REQUIRED: If you wish to be one hundred percent certain that there are no wood destroying insects the only way would be to check the property when it is emptied of fixtures and fittings etc.

Finally, when you move into the property, floor surfaces should be carefully examined for any signs of insect infestation when furniture and floor coverings are removed together with stored goods. Any signs that are found should be treated to prevent it spreading. However, you need to be aware that many damp and wood destroying insect treatment companies have a vested interest in selling their products and therefore have fairly cleverly worded quotations where they do not state if the wood destroying insects they have found are 'active'. You should ask them specifically if the wood destroying insects are active or not.

We would also comment that any work carried out should have an insurance backed guarantee to ensure that if the company does not exist, or for whatever reason, the guarantee is still valid. More importantly it is essential to ensure that any work carried out is carried out correctly.



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INTERNAL DECORATION



With paints, it should be remembered that up to 1992 lead could be used within paint and prior to this most textured paints (commonly known as Artex) contained an element of asbestos up to 1984, so care should be taken if the paintwork looks old and dated.

The internal decorations are in average condition. You may wish to redecorate to your own personal taste.

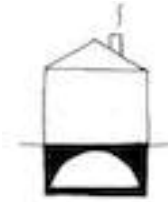
Finally, we would draw your attention to the fact that removal of existing decorative finishes may cause damage to the underlying plasterwork necessitating repairs and making good prior to redecoration.



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BASEMENTS AND VAULTS

Basements and vaults tend to be found in older properties and offer a useful space, although usually they are damp, unless some treatment has taken place such as the tanking of the walls, which is a lining process, or an external damp proofing membrane of some type has been added, or if internally the walls have been lined, therefore hiding the damp. Basements/cellars are often susceptible to flooding from excessive rain, rising water table levels or even blocked drains.

The property has a cellar, which are usually damp areas. We do find cellars are flooding more and more, which may relate to our changing climate, having more intense rain.



Cellar



Vaulted ceiling



Cellar



Openings in brickwork which may have been some kind of timber frame (conjecture)

We do like to have a sump pump in a cellar so you can remove any water that does get into it.



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ACTION REQUIRED: Please see our comments in the Executive Summary.

Finally, we have made a visual inspection of the basement/vault only and have no way of knowing what the construction is without opening up the structure.

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THERMAL EFFICIENCY

Up until the mid 1940s we did not really consider insulation in properties, for example it was only in the 1960s that we started putting insulation in the roof and then it was about 50mm, in the 1970s this was upgraded to 100mm. Then we started to think about double glazing and cavity wall insulation. Since then insulation standards have increased considerably and today we are looking at typically using insulation not only in the roof but also in the walls, floors and windows and more recently considerable work has been carried out on how efficient boilers are within properties. Care has to be taken that properties are not insulated disproportionately to the ventilation as this can cause condensation and you should be aware that you need to ventilate any property that is insulated.

General

Older properties will not be as thermally efficient as a modern property. Having said that, modern properties range considerably in their thermal efficiency as we develop and improve our methods of insulating buildings.

Thermal Imaging

We have not carried out any thermal imaging in this instance.

ACTION REQUIRED: We could come back to carry out thermal imaging if you so wish.



Thermal image example



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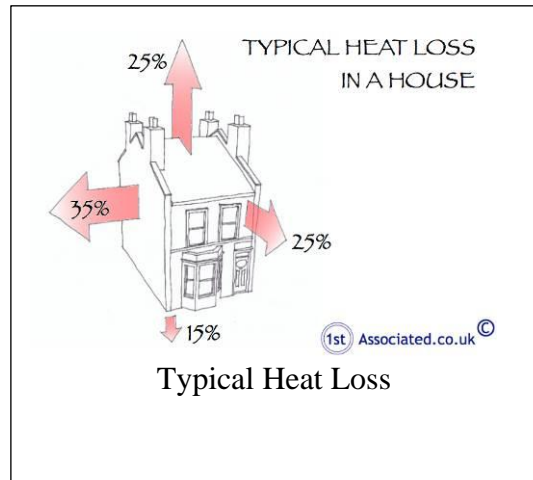
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Room in the Roof

We cannot see how much insulation is in this loft conversion. Depending on when it was carried out it may be an indicator of how much insulation is in. Since the 1970's we generally have been adding insulation.

Within the right hand roof there is approximately 200mm to 300mm of insulation, current Building Regulations requirements are 300mm.



Flat Roof

We think it is unlikely there will much insulation here. It is above the kitchen so there will be a fair amount of heat loss in this area.

Walls

The walls to this property are solid in the sense that they do not have a cavity as a modern property would have. Also they are unlikely to have any substantial insulation, however, unfortunately it is generally very difficult to improve the insulation without affecting the external or the internal appearance of the property.

Cavity Walls

There are a few cavity walls to the property. Again it is unlikely that insulation would have been put in originally.

Windows

The windows are predominantly single glazed, with some double glazed windows and will therefore generally have poor thermal properties.



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Services/Boiler

The property has an oil boiler - service records should be obtained. It is essential for the services to be regularly maintained to run efficiently.

ACTION REQUIRED: We would recommend that you ask for service bills for the past few years; the more that you can get the better.

Please note we have not seen the Energy Performance Certificate.

Summary

Assuming the above is correct, this property is below average compared with what we typically see. You need to have some thought with regard to how the thermal efficiency can be improved.

Further information

Further information can be obtained with regard to energy saving via the Internet on the following pages:

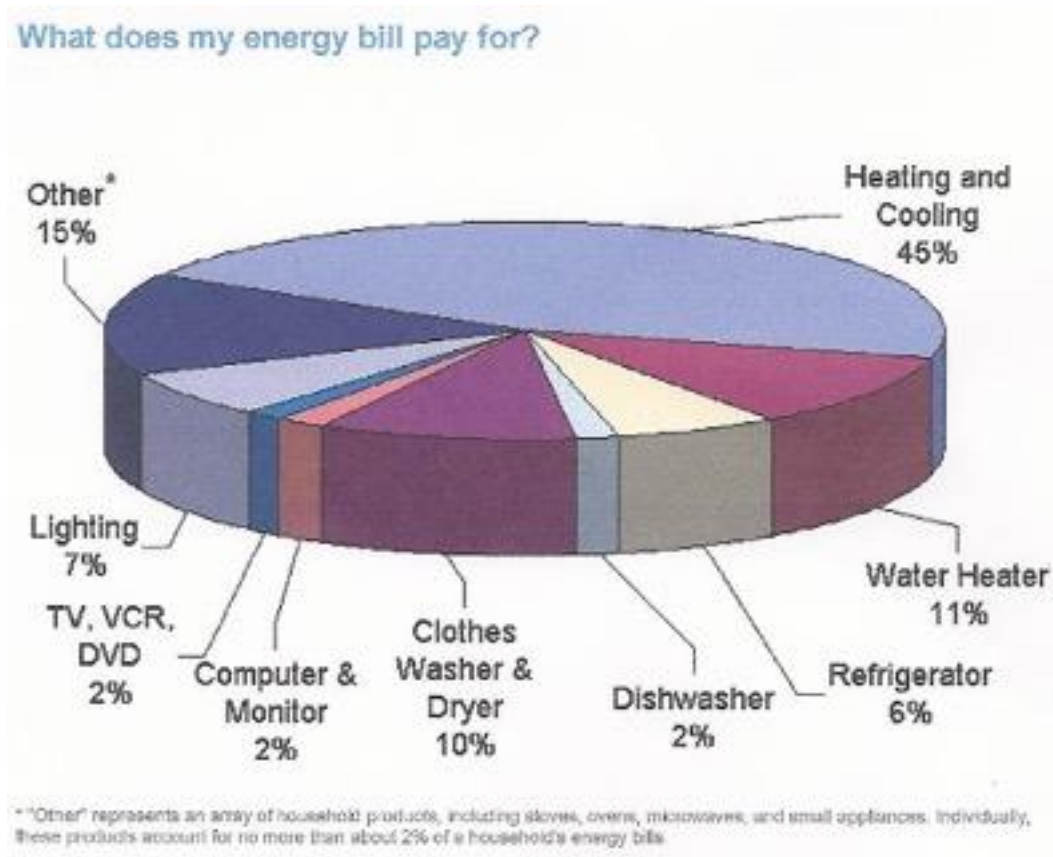
- 1. www.gov.uk, Google: 'Energy Grants' and 'Energy Efficiency'. There is generally information available on the website which is constantly being updated.*
- 2. www.cat.org.uk, <http://www.cat.org.uk> (Centre for Alternative Technology)*
- 3. You Tube Video: The Hypocrisy of Being Green by Belinda Carr*
- 4. It is worth watching the video How Many Light Bulbs? by David J C MacKay – can be viewed on YouTube.*
- 5. SPAB (Society for Protection of Ancient Buildings) have produced a book called The Old House Eco Handbook. We believe there will be further research into older buildings as we progress down the path of energy conservation. It is worth checking their website for the latest information at www.SPAB.org*



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Finally, we would comment that energy we feel will become a major consideration in years to come, particularly with the greater focus in modern buildings on energy efficiency.

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OTHER MATTERS

In this section we put any other matters that do not fit under our usual headings.

Security

The owner advised in their Vendor Questionnaire that the security panel is located in the kitchen. You need to make further enquiries. A good alarm system should not only help reduce break-ins but also help reduce your insurance. We are not experts in this field and therefore cannot comment further.

ACTION REQUIRED: Further information should be obtained from the vendor and the installer.

Fire/Smoke Alarms

The owner advised there are battery operated smoke detectors, we prefer detectors to be hard-wired into the main power supply. Obviously in a property of this age this is difficult, as it would mean having surface mounted wires or cutting wiring into the plaster.

ACTION REQUIRED: We would recommend, for your own safety, that additional smoke detectors are installed. We would always recommend a hard wired fire alarm system and are also aware that some now work from a wireless signal which may be worth investigating. Whilst fire is relatively rare it is in a worst case scenario obviously devastating.

Insurance

We would always recommend staying with the existing insurance company, and then if there are any problems you should not have the difficulty of negotiating with two insurance companies passing the blame between each other.

We would refer you to our comments with regard to building insurance throughout this report.



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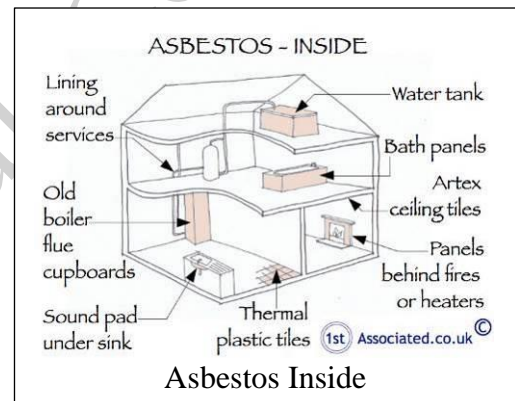
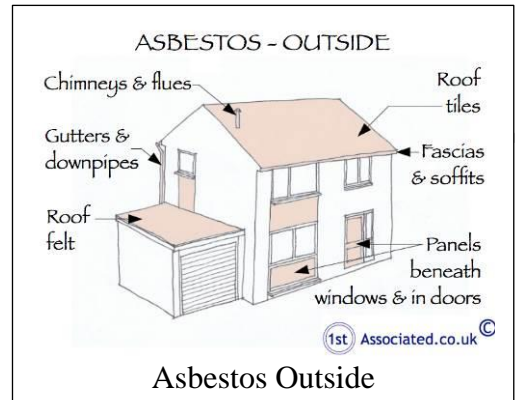
Asbestos

In a property of this age there may well be some asbestos. In this case, we have not noted asbestos.

In years gone by asbestos was commonly used as wood and can be found in all sorts of places. Asbestos was used post war until it was banned only in the UK relatively recently. It is rumoured that it was still used after this point in time where products were imported from countries where it is not banned.

Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.

ACTION REQUIRED: If you wish to confirm you are one hundred percent free of asbestos you need to have an asbestos survey carried out.



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SERVICES

This survey does not include any specialist reports on the electricity supply and circuits, heating or drainage, as they were not requested. The comments that follow are based upon a visual inspection carried out as part of the overall Building Survey.

Services and specialist installations have been visually inspected. It is impossible to examine every detail of these installations without partially dismantling the structure. Tests have not been applied. Conclusive tests can only be undertaken by suitably qualified contractors. The vendor/seller should be requested to provide copies of any service records, test certificates and, ideally, the names and addresses of the installing contractors.

BROADBAND CONNECTIVITY



We are sometimes asked with regard to the Broadband Connectivity in the area. We have identified some websites which we believe are useful for this:

<https://www.broadband.co.uk/>

Advises whether there is phone line broadband or Superfast or Ultrafast broadband in an area.

<https://www.ofcom.org.uk/>

Allows you to check broadband availability, check mobile availability and run a speed test.

However, we would always recommend speaking to the occupiers of properties as to what they have used.

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ELECTRICITY



It is strange to think that electricity only started to be used in domestic properties at the turn of the 19th century with gas lighting still being the norm for a good many years after.

Periodic inspections and testing of electrical installations is important to protect your property from damage and to ensure the safety of the occupants. Guidance published by the Institution of Engineering and Technology (IET) recommends that inspections and testing are undertaken at least every 10 years (we recommend every five years) and on change of occupancy. All electrical installation works undertaken after 1st January 2005 should be identified by an Electrical Installation Certificate.

Fuse Board

The electric fuses and consumer units were located above the entrance door. The fuse board looked 1980's-2000's and better are now available.

ACTION REQUIRED: Upgrade fuse board. Please see our comments in the Executive Summary.



Earth Test

We carried out an earth test in the kitchen area to the socket point that is normally used for the kettle; this failed.

ACTION REQUIRED: Please see our comments in the Executive Summary.



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We recommend a test and report of the electrics as soon as possible. The Institution of Engineering and Technology (IET) also recommend a test and report when properties are changing occupancy, as in this case. This should be carried out by an NICEIC registered, or equivalent, approved electrical contractor or similarly approved and gives a quotation with regard to repair work.

If you recall, we did get okay readings on other sockets that we tried.

In addition to this your Legal Advisor is required to make full enquires with the owners to establish if any electrical installation work has been carried out and to provide suitable certification for any works carried out after 1st January 2005. Any comments made within this report or verbally do not change this requirement.

For basic general information on this matter please see the appendices at the end of this report.



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OIL



All appliances, pipework and flues should be subject to an annual service by a competent OFTEC registered engineer. Unless evidence can be provided to confirm that there has been annual servicing, we would recommend that you commission such a service prior to use to ensure safe and efficient operation.

Oil Tanks

We were pleased to see that the oil tanks are plastic. These usually replace the older metal tanks that can rust and they typically have a double lining, meaning that if they leak they leak into the outer lining.



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PLUMBING AND HEATING



In this section, we do our best from a visual inspection to look at how the water is supplied to the property, how the supply is distributed around the property, how it is used to heat the property and how it is discharged from the property.

Water Supply

The owner did not advise where the external and the internal stopcocks are located, the internal stopcock is usually located under the kitchen sink. It is important that its presence is established in case of bursts or leaks.

ACTION REQUIRED: Ask the owners or Estate Agent to show you where it is, although we would not expect most Estate Agents to know where it is.

Water Pressure

When the taps were run to carry out the drainage test, we checked the pressure literally by putting a finger over the tap and this seemed average. The Water Board have to guarantee a certain pressure of water to ensure that things like boilers, particularly the instantaneous ones have a constant supply of pressured water (they would blow up if they didn't!).

Cold Water Cistern

Please see our comments in the Roof Section.

Plumbing

The plumbing, where visible, comprises copper piping. No significant leakage was noted on the surface, although most of the pipework is concealed in floors, walls and ducts.



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Heating

The oil boiler was located in the boiler room.

We are not sure whether the oil boiler would meet current regulations as we think the flue will need to have an inspection hatch. There was also a stain on the chimney near where the flue is, which could be due to condensation.

Our limited inspection of the hot water and central heating system revealed no evidence to suggest any serious defects but we would nevertheless recommend that the system be tested and overhauled before exchange of contracts and that a regular maintenance contract be placed with an approved heating engineer.



Oil Boiler

Ten Minute Heating Test

The heating was on during the course of the survey and it was pleasantly warm.

Finally, it should be noted that the supply pipe from the Water Company stopcock to the internal stop tap is the responsibility of the property owner.

We cannot comment on the condition of the water service pipe to the building. It should be appreciated that leaks can occur for some time before signs are apparent on the surface.

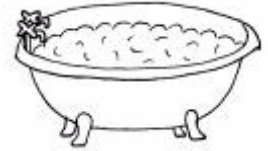
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BATHROOM



In this section we consider the overall condition of the sanitary fittings.

Internal Cloakroom

The property also has an internal cloakroom with wash hand basin and WC, which looks in average condition.

First Floor Bathroom

The property has a three-piece bathroom suite, consisting of a bath, wash hand basin and WC, which looks in average condition.

The ceiling is boarded, which may be leaking

ACTION REQUIRED: Please see our comments in the Executive Summary.

Master Bedroom En-Suite Bathroom

The en-suite comprises of a three-piece bathroom suite, consisting of a bath, wash hand basin and WC, which looks in average condition.

ACTION REQUIRED: Please see our comments in the Executive Summary about adding large humidity controlled extract fans in the cloakroom and all bathrooms.

Finally, although we may have already mentioned it above we would reiterate that it is important to ensure that seals are properly made and maintained at the junctions between wall surfaces and baths and showers etc. We normally recommend that it is one of the first jobs that you carry out as part of your DIY on the property, as water getting behind sanitary fittings can lead to unseen deterioration that can be costly, inconvenient and difficult to repair.

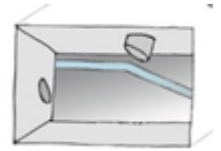


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MAIN DRAINS



The sanitary system, as we know it now, came into being some 100 years ago during the Victorian era and works so successfully today it is often taken for granted. It is only in recent years that re-investment has taken place to upgrade the original drainage systems.

It is assumed that the foul drains from the property discharge into a public sewer; this should be confirmed by your Legal Advisor prior to exchange of contracts, who should also provide information in respect of any common or shared drains including liability for the maintenance and upkeep of the same.

The cold taps have been run for approximately quarter of an hour. No build up or back up was noted.

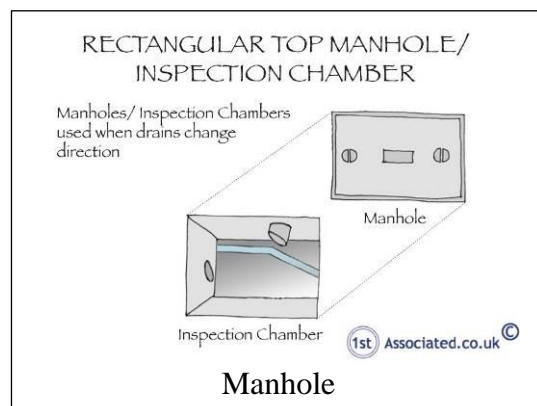
Inspection Chambers / Manholes

For your information, inspection chambers / manholes are required to be provided in the current Building Regulations at each change of direction or where drainage runs join the main run.

We did not find any inspection chambers / manholes within the curtilage of the property, we did find three on the right hand side road. However we did not open any of these up.

Manholes Defined

Access areas which usually fit a man (or woman) into them and are put in where the drains change direction.



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Manhole one to front of right side drive, with bent cover



Manhole two to middle



Manhole three

ACTION REQUIRED: We would recommend a closed circuit TV camera report of the drains to check their condition and your legal adviser needs to check if they are your responsibility.

ANTICIPATED COST: A few hundred pounds; please obtain quotes before you legally commit to purchase.

We have only undertaken a visual inspection of the property's foul drains by running water from the taps within the house.

Finally, it must be emphasised that the condition of the property's foul drains can only be ascertained by the carrying out of a test; such a test has not been undertaken. Should there be leaks in the vicinity of the building then problems could occur, particularly with respect to the stability of the building's foundations. Drainage repairs are inevitably costly and may result in damage being caused to those areas of the property beneath, or adjacent to, which the drains have been run.

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Future Development and Drains

From 1st October 2011 the water authority took over responsibility for shared private sewers. These private sewers are now public sewers. However, general drainage searches will not show the location of all the public sewers within the boundary of a property and other such matters that may restrict development.

The water authority's prior consent is required to build within 3 metres of a public sewer. The owner is responsible for the cost of obtaining the water authority's consent which may include the re-routing of the public sewer. If you intend to carry out any such development at the property you should obtain a speciality drainage report to ascertain the route of the sewers and drains.

Rainwater/Surface Water Drainage

Whilst very innocent looking rainwater downpipes can cause lots of problems. If they discharge directly onto the ground they can affect the foundations and even if they are taken away to soak-aways they can attract nearby tree roots or again affect foundations.

Some rainwater drains are taken into the main drainage system, which is now illegal (as we simply do not have the capacity to cope with it), and can cause blockages to the main drains! Here we have done our best from a visual inspection to advise of any particular problems.

We have been unable to determine the ultimate means of rain/surface water disposal.

In this era of property, they are likely to be combined/shared drains which are where the foul water and the surface water combines. These can be a problem during heavy rainfall and peak periods, such as the 8/9 o'clock rush to work.

Finally, rain/surface water drains have not been tested and their condition or effectiveness is not known. Similarly, the adequacy of soak-aways has not been established although you are advised that they tend to silt up and become less effective with time.

Please also see our comments within the Gutters and Downpipes section.

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OUTSIDE

SUN MAP

The Sun Map shows the sun's path as it travels around the property on a specific date; the date can be seen at the very bottom of the picture. The arrows show the sun's position using a 24 hour clock face around the property.



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OUTSIDE AREAS



GARAGE / PARKING

Car Port

The property has a covered car port to the rear. We would comment that the roof is in need of maintenance.

ACTION REQUIRED: Really depends upon what you intend to use the car port for. If you have a prestigious car or something you want to make sure is safe/dry then we would be looking to generally improve and re-roof.



Car port roof

Please see our comments in the Executive Summary.

Parking

There is a driveway to the right side of the property leading to a parking area to the rear.



Driveway to right side



Rear parking area



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OUTBUILDINGS

The main focus of this report has been on the main building. We have taken a cursory inspection of the outbuilding and would be happy to return and carry out a survey if so required.

EXTERNAL AREAS

Front Garden

There is a reasonable size front garden. The gate and fence are starting to rust.



ACTION REQUIRED: Add the maintenance of the gate and fence to the list of things that need painting.

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Rear Garden

There is a paved area to the rear, with lawn and large tree to the end. The garden is on a slope which is discharging water towards the rear of the property.

ACTION REQUIRED: Please see our comments on the sloping site in the Executive Summary.



Large tree to end of rear garden needs regular maintenance

There are two outbuildings, one of which we assume was a coal shed.



Rear outbuildings



Inside outbuilding



Outbuilding ceiling



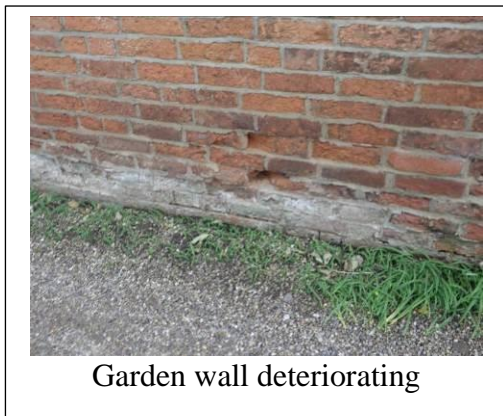
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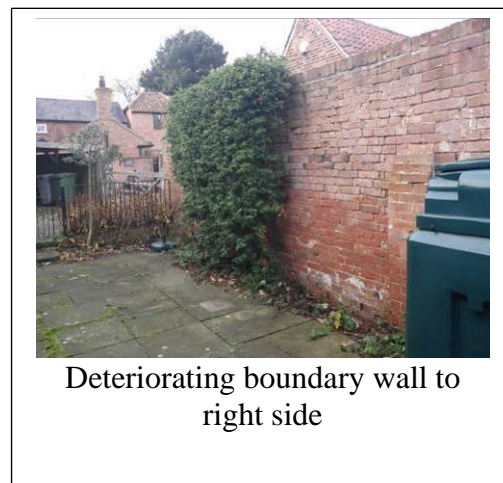
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Garden wall to right side

The garden wall is deteriorating. They do not have very deep foundations.



ACTION REQUIRED:
Repair/repoint in lime mortar to make the wall stable, once of course you have checked that it is your boundary.



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Boundaries

Often with older properties the boundaries are subject to negotiation and local practice. You do need to make sure that your solicitor is aware of the complications that can occur with older property boundaries.

There is normally a 'T' marking which boundary is yours on the Deeds which you can obtain from the Land Registry.

ACTION REQUIRED: Your Legal Advisor to check whose boundary is whose.

Finally, whilst we note the boundaries, these may not be the legal boundaries. Your Legal Advisor should make further enquiries on this point and advise you of your potential liability with regard to any shared structures, boundary walls and fences.

Left Hand Neighbours

We had a brief chat with them to check it was alright to take photos which their property may be in.

ACTION REQUIRED: We recommend you meet and chat with them as soon as possible.

Right Hand Neighbours

There are a number of right hand neighbours.

ACTION REQUIRED: We also recommend you go and meet these neighbours.



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POINTS FOR YOUR LEGAL ADVISOR

If you wish to proceed with your purchase of the property a copy of this report should be forwarded to your Legal Advisor and the following points should be checked by him/her:

- a) Responsibility for boundaries.
- b) Rights for you to enter onto the adjacent property to maintain any structure situated near or on the boundary and any similar rights your neighbour may have to enter onto your property.
- c) Obtain any certificates, guarantees or approvals in relation to:
 - i) Removal of any chimneys in part or whole.
 - ii) Certificates confirming chimneys have been swept
 - iii) Roof and similar renewals.
 - iv) Repair work to walls.
 - v) Removal of any walls in part or whole.
 - vi) Double glazing or replacement windows.
 - vii) Drainage location, maintenance and repairs.
 - viii) Timber treatments, wet or dry rot infestations.
 - ix) Rising damp treatments.
 - x) Asbestos
 - xi) Boiler and central heating installation and maintenance.
 - xii) Electrical test and report.
 - xiii) Planning and Building Regulation Approvals.
 - xiv) Have there been any structural problems referred to insurance companies, any insurance claims, monitoring or underpinning, etc.
 - xv) Any other matters pertinent to the property.
- d) Confirm that there are no defects in the legal Title in respect of the property and all rights associated therewith, e.g., access.
- e) Rights of Way e.g., access, easements and wayleaves.
- f) Liabilities in connection with shared services.
- g) Adjoining roads and services.
- h) Road Schemes/Road Widening.
- i) General development proposals in the locality.



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- j) Conservation Area, Listed Building, Tree Preservation Orders or any other Designated Planning Area.
- k) Confirm from enquiries that no underground tunnels, wells, sewers, gases, mining, minerals, site reclamation/contamination etc., exist, have existed or are likely to exist beneath the curtilage of the site upon which the property stands and which could affect the quiet enjoyment, safety or stability of the property, outbuildings or surrounding areas.
- l) Our Report assumes that the site has not been put to contaminative use and no investigations have been made in this respect.
- m) Any outstanding Party Wall Notice or the knowledge that any are about to be served.
- n) Most Legal advisors will recommend an Environmental report or a similar product is used by you to establish whether the area falls within a flood plain, old landfill site, radon area etc. If your Legal Advisor is not aware of Environmental reports or similar please ensure that they contact us and we will advise them of it. Any general findings should be brought to their logical conclusion by using appropriate specialist advisers.

However, with regard to Environmental reports or similar general reports on the environment please see our article link on the www.1stAssociated.co.uk Home Page.

- o) Any other matters brought to your attention within this report.

LOCAL AUTHORITY ENQUIRIES

Your Legal Advisor should carry out Local Authority searches to ascertain whether the property is a Listed Building and whether it is situated in a Conservation Area. They should also find out any information available with regard to Planning Applications and Building Control. We have not made any formal or informal Local Authority enquiries.

Finally, your Legal Advisor should carry out any additional enquiries they feel necessary and if they find anything unusual or onerous then we ask that they contact us immediately for our further comments.



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It is our policy not to offer a conclusion to ensure that the Building Survey is read in full and the comments are taken in context.

If you would like any further advice on any of the issues discussed or indeed any that have not been discussed!

Please do not hesitate to contact us on **0800 298 5424**.

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REFERENCES

The repair and maintenance of houses
Published by Estates Gazette Limited

Life expectancies of building components
*Published by Royal Institution of Chartered Surveyors and
Building Research Establishment*

Surveying buildings
*By Malcolm Hollis
Published by Royal Institution of Chartered Surveyors Books.*

House Builders Bible
*By Mark Brinkley
Published by Burlington Press*

Period House Fixtures and Fittings
*By Linda Hall
Published by Countryside Books*

The Rising Damp Myth
*By Jeff Howell
Published by Nosecone Publications*

Putting Life into Perspective House Price Information
Source: Sunlife.co.uk

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LIMITATIONS

Our limitations are as the agreed Terms and Conditions of Engagement.

CONDITIONS OF ENGAGEMENT

The report has been prepared in accordance with our Conditions of Engagement dated xxxx should be regarded as a comment on the overall condition of the property and the quality of its structure and not as an inventory of every single defect. It relates to those parts of the property that were reasonably and safely accessible at the time of the inspection, but you should be aware that defects can subsequently develop particularly if you do not follow the recommendations.

ENGLISH LAW

We would remind you that this report should not be published or reproduced in any way without the surveyor's expressed permission and is governed by English Law and any dispute arising there from shall be adjudicated upon only by the English Courts.

SOLE USE

This report is for the sole use of the named Client and is confidential to the Client and his professional advisors. Any other persons rely on the Report at their own risk.

APPROVALS/GUARANTEES

Where work has been carried out to the property in the past, the surveyor cannot guarantee that this work has been carried out in accordance with manufacturers' recommendations, British/European Standards and Codes of Practice, Agreement Certificates and statutory regulations.

ONLY HUMAN!

Although we are pointing out the obvious, our Surveyors obviously can't see through walls, floors, heavy furniture, fixed kitchen units etc. they have therefore made their best assumptions in these areas.



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As this is a one off inspection, we cannot guarantee that there are no other defects than those mentioned in the report and also that defects can subsequently develop.

LAYOUT PLAN

We have used the estate agents floor plan as a guide to the layout of the building. We have not checked it for scale and accuracy.

SKETCHES

We have used sketches throughout the report, these are for illustration purposes only and we would not expect these to be used as technical details for work being carried out. We would be more than happy to advise further if you wish specific help on any elements.

WEATHER

It was a dry autumn day at the time of the inspection. The weather did not hamper the survey.

In recent times our weather seems to be moving towards the extremities from its usual relatively mid range. As you are probably aware there has been some record breaking weather recently:

2020 being the driest summer

2018 being the driest start to a summer

December 2015 was the wettest month

August 2004 the wettest August on record in many areas

2003 was the driest year on record

2000 was the wettest year on record

1914 Meteorological Office began recording weather although there are informal diary records as is evidence of plant growth, etc. which also indicates weather patterns and is available for a much longer period.

This may have adverse effects on many buildings in years to come or the not too distant future.



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FLOODING

We are often asked about floods and how likely is the property to flood. We no longer think it is possible to predict due to our changing weather patterns and rainfall often being more intense. We simply do not have a crystal ball good enough to be able to advise of the certainty on this matter, other than the obvious that if you are near rivers, springs and on a sloping site you are more likely to flood than most. We have, however, been involved in some cases where flooding has occurred when it has not occurred for many decades/in living memory and this we feel is due to new weather patterns; we do not believe there is a one hundred percent accurate way to establish if a property will flood or not.

ACTION REQUIRED: You need to carry out your own research on this matter/due diligence before you legally commit to purchase the property.

EMPTY PROPERTY

The property was empty at the time of our survey, we were therefore not able to carry out our usual question and answer session. A relative filled out our Vendor Questionnaire.

JAPANESE KNOTWEED

We have not inspected for Japanese Knotweed. We would advise that we are finding that some mortgage valuation surveyors are setting valuations at zero on any property with Japanese Knotweed and are reluctant to lend where it is present.

A BBC news report dated April 2018 states that research has been carried out by Swansea University, where they carried out trials near Cardiff and Swansea and tested 19 main methods of controlling the plant and they found that none of these methods eradicated it. See our article:

<https://buildingsurveyquote.co.uk/japanese-knotweed-buildings-and-resveratrol/>

ACTION REQUIRED: You need to carry out your own research on this matter/due diligence before you legally commit to purchase the property and be aware that Japanese knotweed could be in neighbouring properties which you do not have direct control over.



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INSPECTION LIMITED

Unfortunately, in this instance our inspection has been limited as:

- 1) We did not have a full view of the roof due to the insulation covering the ceiling joists and general configuration of the roof and the rooms formed in the roof.
- 2) We did not access the rear pitched roof, we would be more than happy to comment on any photos taken of it before you legally commit to purchase.
- 2) We did not open up the walls as we could not see a way of doing this without causing damage.
- 3) We did not open up the floors as we could not see a way to do it without causing damage.
- 4) The mass of stored items in the property limited our view.
- 5) We did not have the benefit of talking to the owners or them answering our usual question and answers.

THANK YOU

We thank you for taking the time to meet us during the building survey.

BUILDING INSURANCE

We do not advise with regard to building insurance. You need to make your own enquiries. Some areas may have a premium, some buildings may have a premium and some insurers may be unwilling to insure at all in certain areas. You need to make your own enquires prior to committing to purchase the property. Please be aware the fact a building is currently insured does not mean it can be re insured.

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We would comment that non-insurability of a building we feel will affect value. It is therefore essential to make your own enquiries with regard to insurance before committing to purchase the property and incurring fees.

ACTION REQUIRED: You need to contact an insurance company today to make enquiries with regard to insurance on this property.

TERMS AND CONDITIONS

Our computer system sends two copies of our Terms and Conditions to the email address given to us when booking the survey; one has the terms attached and the other has links to the Terms and Conditions on our website (for a limited time). If you have not received these please phone your contact immediately.



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APPENDICES

1. The Electrical Regulations – Part P of the Building Regulations
2. Information on the Property Market
3. French Drain
4. Condensation and Cold Bridging in Georgian and Regency Properties

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THE ELECTRICAL REGULATIONS – PART P OF THE BUILDING REGULATIONS

Here is our quick guide to the Regulations, but please take further advice from a qualified and experienced electrician.

From 1st January 2005, people carrying out electrical work in homes and gardens in England and Wales must follow new rules in the building regulations. All significant electrical work carried out in the home will have to be undertaken by a registered installer or be approved and certified by the local authority's building control department. Failure to do so will be a legal offence and could result in a fine. Non-certified work could also put your household insurance policy at risk.

If you can't provide evidence that any electrical installation work complies with the new regulations, you could have problems when it comes to selling the property.

There will be two ways in which to prove compliance:

1. A certificate showing the work has been done by a Government-approved electrical installer - NICEIC Electrical Contractor or equivalent trades body.
2. A certificate from the local authority saying that the installation has approval under the building regulations.

Homeowners will still be able to do some minor electrical jobs themselves. To help you, we've put together this brief list of dos and don'ts.

Work You Cannot do Yourself

- Complete new or rewiring jobs.
- Fuse box changes.
- Adding lighting points to an existing circuit in a 'special location' like the kitchen, bathroom or garden.
- Installing electrical earth connections to pipework and metalwork.
- Adding a new circuit.

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INFORMATION ON THE PROPERTY MARKET

We used to include within our reports articles on the property market that we thought would be of interest and informative to you, however we were concerned that in some cases these did not offer the latest information. We have therefore decided to recommend various websites to you, however it is important to realise the vested interest the parties may have and the limits to the information.

www.landreg.org.uk

This records the ownership of interests in registered land in England and Wales and issues a residential property price report quarterly, which is free of charge. The Land Registry is a Government body and records all transactions as far as we are aware, although critics of it would argue that the information is often many months out of date.

www.rics.org.uk

The Royal Institution of Chartered Surveyors offer quarterly reports via their members. Although this has been criticised as being subjective and also limited, historically their predictions have been found to be reasonably accurate.

www.halifax.co.uk and www.nationwide.co.uk

Surveys have been carried out by these two companies, one now a bank and the other a building society for many years. Information from these surveys is often carried in the national press. It should be remembered that the surveys only relate to mortgaged properties, of which it is generally considered represents only 75% of the market. It should also be remembered that the national coverage of the two companies differs and that they may be offering various incentives on different mortgages, which may taint the quality of information offered. That said they do try to adjust for this, the success or otherwise of this is hard to establish.

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Address: XXXX

www.hometrack.co.uk

This gives information with regard to house sale and purchase prices.

www.motleyfool.co.uk

We also like the Motley Fool website which is a general financial site and although it is selling financial services and other services they do tend to give a very readable view of the housing market.

www.rightmove.co.uk

This is probably the largest Internet search engine for estate agency sales and also has useful information with regard to prices of property (but it is not the same as having a chartered surveyor value it).

www.zoopla.co.uk

This is a good website for seeing the prices of properties for sale in a certain postcode area.

HistoricEngland.org.uk and BritishListedBuildings.co.uk

These are good websites for establishing if the property is Listed and general information on Listed buildings.



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French Drain

Using a French drain to resolve a dampness problem

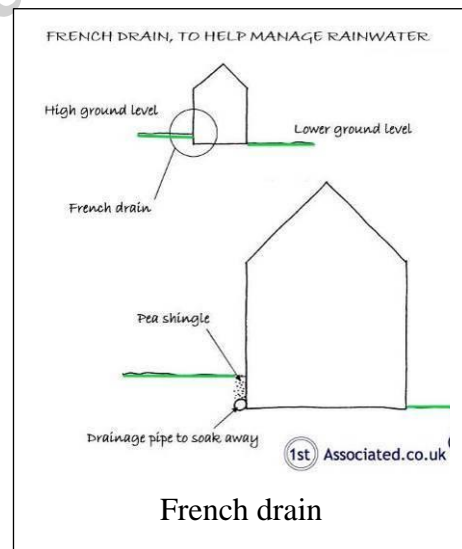
We are finding where we are asked to look at damp walls and damp floors or damp problems in general that commonly it is because the external ground level is higher than the internal ground level, or airbricks have been blocked, or simply paving slabs, decking or briquettes have been used to form a patio area. This then discharges any rainwater against the building. Quite often the solution is to add a French drain.

Whilst French drains are quite simple and are basically nothing more than trenches filled with gravel, although there is a bit more to them, as we will explain, they are almost a D.I.Y. job for most people and they are relatively easy to install and are low cost. However, you do need some care and attention, otherwise you can install what we have heard referred to, as the French pond.

What use is a French drain?

A French drain is a trench, the width of approximately six inches or 300 millimetres wide, or the width of your spade, and is approximately twice the depth, i.e. 12 inches or 300 millimetres. In most cases this will suffice, however, where there is a great deal of ground water you may wish to make the trench wider and deeper.

The French drain acts as an area where water soaks away quickly. We often recommend them being close to building, but not next to the building, as this helps reduce the ground level and/or take any water that is directed at that area away.



For example, where a patio has been put in place which aims any rainwater at part of the wall.

As mentioned, whilst a French drain is a D.I.Y. job, it does need some understanding of how it works.

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French drains must be on a slope

The piping that goes at the base of a French drain should be perforated or, as we did years ago for land drains, there should be gaps between each pipe. It should be set onto a bed of firm ground and the pipes should be on a fall to the drain. Whilst you should be able to ensure there is enough fall by sight, we also like the idea of rolling a marble from one end to the other.

You will then need to put the pipes down, fill the trench with half an inch, to an inch, of good-sized gravel. You can leave it at that, or in addition you can cover with a sand and then turf over. This is how a basic French drain is carried out.

The French drain system that we would recommend

This would be as described, although we would add to the base an inch or two of gravel on to which the perforated drainage pipe will rest. It will then wrap around that drainage pipe filter fabric. This is to stop the holes in the perforated pipe from blocking up. By the way, the drainage pipe should be four to six inches/100 millimetres to 250 millimetres. We would then fill with gravel. In addition to this, we would add a silt trap and this is added in the run of the pipe and is very similar to a road gully (not that's of much use if you don't understand how a road gully works). The silt trap is a rectangular box with a pipe opening at each end. The drained water passes onto this and any particles sink to the bottom of the box and then the water travels on to the other side of the box, enabling you to feed into a drain.

These are usually made of glass reinforced polyester and have been available in this form since the mid-1980s. They are normally reinforced with a steel frame for additional strength and re-bedded in concrete.

The French pond!

French drains will, over time, clog up, which is why we recommend using a filter fabric. However, even with this they will eventually clog up. Unfortunately, there is no dyno-rod equivalent, as it is normally fine sand, organic matter or clay that has clogged up the French drain. So, it is a case of digging it up and cleaning the pipework (or it may be quicker to just replace it), adding a filter fabric and re-filling the gravel.



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Condensation and Cold Bridging in Georgian and Regency Properties

What is Cold Bridging?

Georgian style properties and cold bridging

Georgian style properties can suffer from cold bridging and condensation. However, in our experience it is more likely to be the new extensions or alterations that are added to them. Conservatories are for example a large heat gain area during the summer and heat loss area during the winter.

What is cold bridging or thermal bridging and how does it work?

Cold bridging or thermal bridging are both terms and problems we believe will become more common in years to come. We are finding more and more examples of Cold Bridging. This happens in certain types of property and to some extent it could be argued that it is a characteristic of that type of property and quite a complex issue to resolve. Unfortunately, it means condensation is more likely.



Georgian stone property with conservatory



Georgian style properties

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Cold Bridging

Cold bridging is caused by a colder element in the structure or fabric of the building allowing coldness to pass through. When warm moist air is present in the property and it passes through the colder elements of the structure, we have what is known as Cold Bridging.

Older style London converted flats are susceptible to property problems such as condensation and cold bridging



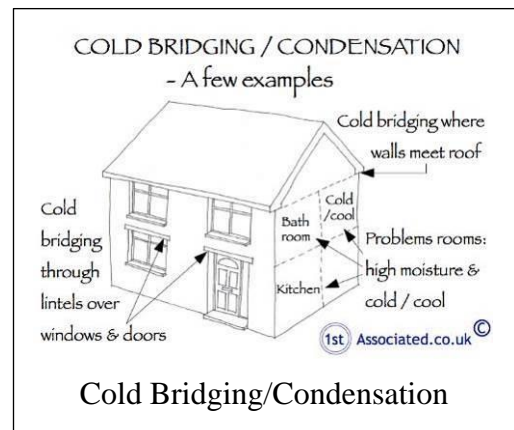
Combination of cold bridging issues

This is often caused by a combination of issues. It can occur from things such as having a shower or a bath, cooking or clothes washing, particularly if you are drying washing on the radiators. It could, in commercial properties, be a large gathering of people breathing (this can cause a lot of humidity) in a building that has stood cold and empty for some time such as a church, village hall, sports centre or a crèche. These human atmospheres create a climate, which can result in condensation on the cold elements of the structure and fabric if the room is not ventilated properly.

Georgian and certain eras buildings are more susceptible to Condensation and Cold Bridging

Here is our sketch on Cold Bridging

This is a good indication of the typical things that cause Cold Bridging in a house and how extraction from humidity generating areas such as the kitchen and the bathroom can reduce problems. You do need to look at how you live in the house.



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Cold Bridging isn't just about condensation on mirrors

Cold Bridging isn't just about condensation on mirrors. Not only can it be an original characteristic of the building it can be encouraged by all types of extension and alterations.

Cold bridging is far worse than condensation as it is caused by an element in the structure, which you can do very little to change without great expense.

When is Cold Bridging Likely?

In our experience we have seen cold bridging occurring in:

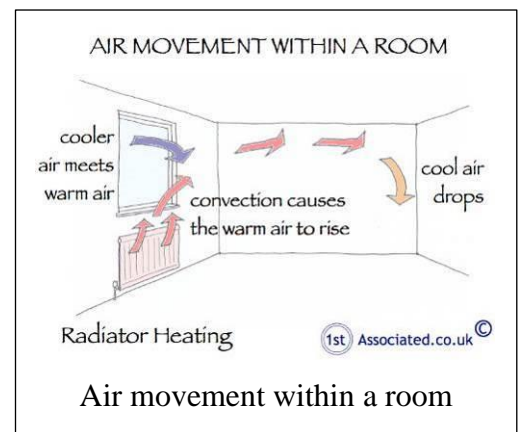
- 1) Eras of properties where there are warm elements and colder elements to the building.
- 2) Where you have a mixture of warm rooms and cold rooms.

For example: Lounges and main bedrooms tend to be warmer than guest or spare bedrooms most of the time. Also, sometimes rooms can warm up due to large areas of glass and thermal heat gain, which is very true in some conservatories also.

- 3) Humidity internally is high
- 4) Where it is colder but by no means very cold outside

How to solve Cold Bridging

The difficulty is resolving cold bridging. Normally, where condensation is involved, if you get the balance of warm and coolness of the air, ventilation and movement you can reduce considerably the chances of condensation. Airing the room by opening the windows, which seems to have gone out of fashion, can help considerably.



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Is your lifestyle a factor in Cold Bridging?

This is often a contentious and difficult question, particularly where the occupier is a tenant and there is a disagreement between the landlord and the occupier as to why there is mould in the property. In our experience the major factor is the size of the family living in a property.

Drying clothes indoors is not ideal

This is especially the case with large families with young children and where in turn there is a lot of washing of clothes being done. This is particularly the case in the winter months, with the wet washed clothes being dried on radiators. Also, general hygiene washing and not to mention cooking to feed everyone all leads toward a more humid atmosphere.

This is generally known as the lifestyle of occupants and can be a major factor particularly where there are legal cases as to the problems within a property.

Problems relating to condensation and cold bridging explained

This really is a difficult question to answer. We have been involved in a number of cases as expert witnesses or advocates and the answer can vary. We would comment that there are factors that can be changed and factors that can't be changed.

Lifestyle examples

For example, the occupiers' lifestyle can in most cases be amended. This may involve the occupier having an understanding of the problems they are causing.

For example, drying lots of washing on a radiator inside may be causing excessive moisture in the atmosphere. Equally not opening the windows and closing or sealing up vents can be a problem.



Modern items we often see in older properties factory insulated hot water cylinder



Georgian Street



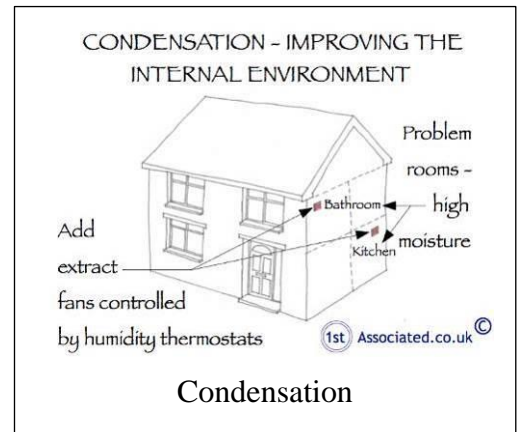
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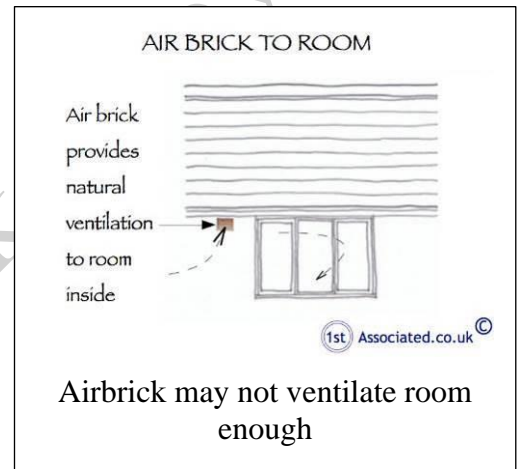
Design of the Building

Sometimes it really is down to the design of the property. Where there are cold elements in it, such as a concrete structural frame or concrete lintels, when these are in contact with moist air condensation occurs. Sometimes this is impossible to stop but often it is possible to reduce it by having a better circulation of air with a better heat and coolness balance and the removal of any moist air.



Things to remember about an airbrick

If you are thinking about adding an airbrick then you need to be aware that airbricks don't actually allow that much air through. Although externally a nine by three air brick has a lot of gaps, as these gaps taper, it is generally considered that only about one inch square of air regularly passes through the grills.



Why do we have seasonal condensation problems?

The different seasons mean that the building reacts differently. Anyone who has lived in an old property will know that windows and doors particularly sliding sash windows will swell during the winter months.

Extract fans are a help

There can be similar issues with a property where, regardless of your lifestyle, during some of the different seasons, for example the winter or a wet spring, taking a shower can relate in condensation even with extract fans running (although this is far less likely).



It also depends on what the humidity level is outside as this can be greater than inside. The moisture/humidity will then seek out colder rooms such as spare bedrooms and the corners of cupboards. When you open these at a later date you will be surprised to find black mould.



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