

COMMERCIAL BUILDING SURVEY

XXXXXXXXXXXX
XXXXXXXXXXXX

London

X



Aerial view – 360 photo

FOR

XXXXXXX

Prepared by:

XXXXXXXXXXXXXXXXXXXXXXXXXXXX

INDEPENDENT CHARTERED SURVEYORS



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CONTENTS

INTRODUCTION
REPORT FORMAT
SYNOPSIS

EXECUTIVE SUMMARY
SUMMARY UPON REFLECTION

EXTERNAL

CHIMNEY STACKS, FLUES, PARAPET WALLS, ROOF WINDOWS
ROOF COVERINGS AND UNDERLAYERS
ROOF STRUCTURE AND LOFT SPACE
GUTTERS AND DOWNPIPES AND SOIL AND VENT PIPES
EXTERNAL WALLS
FASCIAS AND SOFFITS AND WINDOWS AND DOORS
EXTERNAL DECORATIONS

INTERNAL

CEILINGS, WALLS, PARTITIONS AND FINISHES
CHIMNEY BREASTS, FLUES AND FIREPLACES
FLOORS
DAMPNESS
INTERNAL JOINERY
TIMBER DEFECTS
INTERNAL DECORATIONS
THERMAL EFFICIENCY

OTHER MATTERS
SERVICES

APPENDICES

LIMITATIONS

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INTRODUCTION

Firstly, may we thank you for your instructions of xxxxxxxxxxxxxx; we have now undertaken an independent Building Survey (formerly known as a Structural Survey) of the aforementioned property. This Survey was carried out on xxxxxxxxxxxxxxxx.

The Building Survey takes the following format; there is an introductory section (which you are currently reading), which includes a synopsis of the building, and a summary of our findings.

We then go through a detailed examination of the property starting with the external areas working from the top of the property down, followed by the internal areas and the buildings services. We conclude with the section for your Legal Advisor and also attach some general information on the property market.

We are aware that a report of this size is somewhat daunting and almost off-putting to the reader because of this. We would stress that the purchase of a property is usually one of the largest financial outlays made (particularly when you consider the interest you pay as well).

We recommend that you set aside time to read the report in full, consider the comments, make notes of any areas which you wish to discuss further and phone us.

We obviously expect you to read the entire report but we would suggest that you initially look at the summary, which refers to various sections in the report, which we recommend you read first so that you get a general feel for the way the report is written.

As part of our service we are more than happy to talk through the survey as many times as you wish until you are completely happy to make a decision. Ultimately, the decision to purchase the property is yours but we will do our best to offer advice to make the decision as easy as possible.

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REPORT FORMAT

To help you understand our Report we utilise various techniques and different styles and types of text, these are as follows:

GENERAL/HISTORICAL INFORMATION

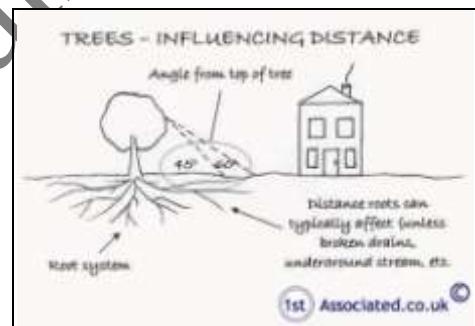
This has been given in the survey where it is considered it will aid understanding of the issues, or be of interest. This is shown in "italics" for clarity.

TECHNICAL TERMS DEFINED

Throughout the Report, we have endeavoured to define any technical terms used. This is shown in "Courier New" typeface for clarity.

A PICTURE IS WORTH A THOUSAND WORDS

We utilise photographs and sketches to illustrate issues or features. In some photographs a pencil, pen, circle or arrow has been used to highlight a specific area. The sketches are not 100% technically accurate; we certainly would not expect you to carry out work based upon the sketches alone.



Influencing distance of trees

ORIENTATION

Any reference to left or right is taken from the front of the property, including observations to the rear, which you may not be able to physically see from the front of the property.

ACTION REQUIRED AND RECOMMENDATIONS

We have used the term **ACTION REQUIRED** where we believe that there are items that you should carry out action upon or negotiate upon prior to purchasing the property.

Where a problem is identified, we will do our best to offer a solution. However, with most building issues, there are usually many ways to resolve them dependent upon cost, time available and the length of time you wish the repair/replacement to last.

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SYNOPSIS

SITUATION AND DESCRIPTION

This is a detached two storey public house/bar with bed and breakfast accommodation, which has been extended and amended over the years, including internal alterations and first and second floor flat roofs.

The property sits on a corner plot which sits directly onto the pavement onto xxxxxxxxxxxxxxxxx. The left side and rear appeared to have shared passageways/fire exits (ownership and rights and responsibilities need to be checked and confirmed by your legal adviser).

We believe that the property was built the Victorian Era. If the exact age of the property interests you your Legal Advisor may be able to find out more information from the Deeds.

We have carried out a brief inspection to ascertain if the building is listed via the BritishListedBuildings.co.uk website. We have found it not to be recorded as listed.

ACTION REQUIRED: Your legal advisor needs to check and confirm all of the above.

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LOCATION PLANS



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EXTERNAL PHOTOGRAPHS



Front view
(Kensal Road side)
Aerial view – 360 photo



Rear/right view



Passageway to left side
(Kensal Road side)



Right view
(Middle Row side)
Aerial view – 360 photo



Sitting out area to right side
(Middle Row side)

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ACCOMMODATION AND FACILITIES

(All directions given as you face the property)

The following gives a general overview of the facilities at the property.

Cellar

- 1) Cold cellar
- 2) Cellar
- 3) Spirit/Wine Store

Ground Floor

Front of House

- 4) Main bar, with front and right side entrance/exit
- 5) Side bar
- 6) Rear ladies and gents toilets
- 7) Corridor to ground floor office and first floor stairs

Back of House

- 8) Main bar servery area
- 9) Side bar servery area
- 10) Rear left catering kitchen
- 11) Left side wash up/storage area
- 12) Front left lobby
- 13) Front left office

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First Floor

Accommodation

- 14) Corridor (with roof access)
- 15) Front - four bedrooms with en-suite shower rooms
- 16) Front left – two bedrooms, with en-suite shower rooms
- 17) Front left bedroom
- 18) Front left WC
- 19) Front right – three bedrooms with en-suite shower rooms
- 20) Front right – four WC's

Signage

The property has xxxxxxxxxxxx signage. There is no remote signage as far as we could see and no swing sign.

Outside Areas

The property sits directly onto the road.

ACTION REQUIRED: Your Legal Advisor needs to check and confirm the above information together with what your legal rights are with regard to access and parking and permitted hours of work.

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SUMMARY OF CONSTRUCTION

External

Chimneys:	Three pairs of brick chimneys; left, right and corner
Main Roof:	Pitched and hipped, clad with slate Valley gutters Dutch gables and parapet walls
Roof Structure:	Cut timber roof, with amendments
Rear Two Storey Flat Roof:	Covered with felt
Rear Single Storey Flat Roof:	Covered with felt Roof windows/sky lights
Gutters and Downpipes:	Plastic
Soil and Vent Pipe:	Internal, plastic where visible at roof level
Walls:	Flemish Bond brickwork
Fascias and Soffits:	Painted timber
External detailing:	
Windows:	Timber double glazed windows to ground floor Plastic double glazed windows to first floor
Doors:	Timber entrance doors / fire exit doors

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Internal

Ceilings:	Originally lath and plaster and modern plaster finish (assumed)
Perimeter Walls:	Dry lined/false walls finished with modern plaster
Internal Walls	Mixture of solid, modern studwork and structural studwork (assumed)
Floors: Basement:	Solid under foot, assumed concrete
Ground Floor:	Suspended timber floor and solid (assumed)
First Floor:	Joist and floorboards with embedded timbers (assumed)

Services

We believe that the property has a mains water supply, mains drainage, electricity and gas (assumed). We have not been provided with any test certificates or inspected at this point of time.

Heating:	The boiler is located in the kitchen wash up area Asbestos flue (assumed)
Flue:	From kitchen cooker line on left side
Electrics:	The electrics are from xxxxxxxxxxxx and are located in the services cupboard on first floor corridor
Gas:	The consumer unit was not located
Drainage:	We were unable to find any manholes

The above terms are explained in the main body of the Report.

We have used the term 'assumed' as we have not opened up the structure.

ACTION REQUIRED: Your Legal Advisor needs to check and confirm the above and advise us of anything they require further clarification on before legal commitment to purchase the property.

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EXECUTIVE SUMMARY

Summaries are not ideal as they try to précis often quite complex subjects into a few paragraphs.

It is inevitable with a report on a building of this nature that some of the issues we have focussed in on you may dismiss as irrelevant and some of the areas that we have decided are part of the 'character' of this property you may think are very important. We have taken in the region of xxx photographs during the course of this survey and many pages of notes, so if an issue has not been discussed that you are interested in or concerned about, please phone and talk to us before you purchase the property (or indeed commit to purchasing the property), as we will more than likely have noted it and be able to comment upon it; if we have not we will happily go back.

We have divided the Executive Summary into 'Plus Points', 'Medium Priority' and 'High Priority', to allow you to clarify and focus on exactly what the issues are.

Plus Points

Survey reports often are full of only the faults and general 'doom and gloom', so we thought we would start with some positive comments on the property!

- 1) Potential.
- 2) Suitability for your business, both as an office and as a showcase.
- 3) Alterable and extendable.

We are sure you can think of other things to add to this list.

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Medium Priority Bad

Problems / issues raised in the 'medium priority' section are usually solvable, but often need negotiation upon. However, a large number of them may sometimes put us off the property.

1.0) Chimneys, Dutch Gables and Parapet Walls

These are at high level and are formed in soft red brick. These are in a below average condition and from what we can see look as though they have not had any maintenance for some time.

Our concern is that if they fall forwards there is a public footpath runs directly below and if they fall backwards they would go through the roof as well as of course allowing dampness into the property.

ACTION REQUIRED: Repair and repoint and possibly rebuild.

ANTICIPATED COST: In the region of £5,000 to £10,000 (five thousand to ten thousand pounds), assuming the work can be carried out from a tower scaffold. If full scaffolding is deemed necessary, then this could double the price. Please obtain quotations.

Please see the Chimneys and Roof Sections of this Report.



External view of chimneys,
Dutch gables and parapet walls
Aerial view – 360 photo



Chimney to right with soft red
brick deteriorating and
weathered pointing
Aerial view – 360 photo



Tower scaffolding

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2.0) Roof covering problems

The main pitched roof has a mixture of quarried slate and manmade slates, possibly with asbestos mix. We can see some of the slates are starting to turn from a black colour to a white colour showing through, which can often mean an asbestos mix.



Original slate to top (red oval)
Manmade slates below
(green oval)



Whitening of slates

Condition of slates

We can see areas of slipped slates, repaired slates and damaged slates, including lead tingles.

Flashband Defined

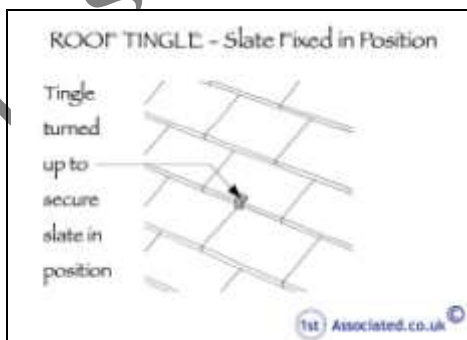
Flashband is a sticky backed felt which is best used for temporary repairs only.

Lead Tingles or Lead Slaps Defined

These are strips of lead usually about 25mm wide which are used to secure slates where they have slipped.



Dip in entire roof (red oval)
with Flashband repairs below
(green oval)



Lead tingles



Old slates, with slipped, damaged
slates and lead tingles
Aerial view – 360 photo

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ACTION REQUIRED: The whole roof needs to be overhauled and made watertight, replacing damaged slates and re-positioning slipped slates.

We believe that some of the problems relate to lack of maintenance and some of them relate to roof structure problems as a whole, which we discuss further in main body of this report.

Our insurance company require us to advise we are not asbestos specialists and recommend you have an asbestos survey carried out by a specialist asbestos company on the entirety of the roof.

ANTICIPATED COST: In the region of £1,500 to £5,000 (one thousand five hundred pounds to five thousand pounds), assuming this work can be carried out off a tower scaffold; far more if not. Please obtain quotations.

Please see the Roofs and Asbestos Sections of this Report.

3.0) Roof Structure

The property has a fairly shallow hipped, slate that has been extended and amended over the years.

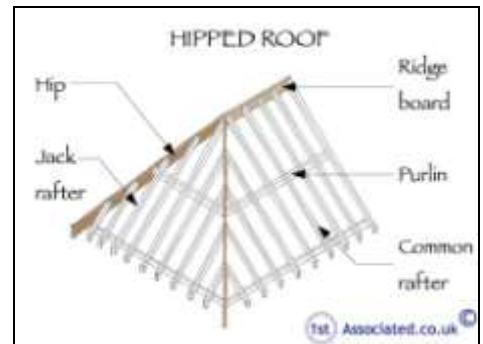
We can see to the rear right corner on Middle Row that the roof has been propped, therefore there are known about problems with this roof. We can also see roof structure problems externally, for example rear left side and other areas. Unfortunately there was no access into the left side of the roof.



Rear right corner where there is some movement and whitening of slates



Problems with valley gutter



Hipped roof



Props in roof space

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ACTION REQUIRED: Form an access into the left side of the roof. We recommend you prop the roof timbers to both the left and right sides of the roof. Also investigate the dip in the roof.

The right side of the roof was full of stored items at the time of our survey which limited our view to be able to see exactly what the problem was, but in our experience it is likely that the common rafters have failed/broken.

We were able to see some splits along the lines of the purlins.

Our inspection was limited by the large amount of stored items within the roof.



Mass of stored items limited our view of the roof



Split in purlin

Common Rafters Defined

The rafters are the timbers which form the slope to which the battens are secured and in turn the roof covering is also secured too.

Purlins Defined

The purlin is the horizontal timber member usually running from gable end to gable end and parallel with the walls which supports the jack or common rafters (the angled rafters forming the slope to the roof).

ANTICIPATED COST: In the region of £5,000 to £10,000 (five thousand to ten thousand pounds), but may be more; it is difficult to comment with such a limited view of the roof. Please obtain quotations.

Please see the Roof Structure Section of this Report.

4.0) Structural Problems

Please see the High Priority Section of this report.

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5.0) Sit on Gutters

Some of the gutters are sit on gutters. They are leaking and causing efflorescence to the brickwork below.

Efflorescence Defined

Efflorescence is the white salt found on brickwork/stonework. It is a natural phenomenon which is where the minerals in water as they dry out come to the surface of stone or brick and leave a white crystallised powder, almost flour like. On a red brick it can stand out considerably, almost appearing bright white on a lighter white or yellow brick it can almost disappear.

ACTION REQUIRED: General overhaul of gutters, ensuring the joints are not leaking and are clear and that the gutters go towards the downpipes. Thereafter, regular maintenance and checking of the gutters and downpipes.

ANTICIPATED COST: A few hundred pounds, assuming they are accessible from a ladder or tower scaffold. Please obtain quotes.

Please see our comments in the Gutters and Downpipes Section of the report.



Dampness in the form of efflorescence on brickwork from overflowing gutter



Sit on gutter

6.0) First floor windows

The windows to the first floor are plastic double glazed windows. They have been used and abused and some are literally coming off their hinges.

ACTION REQUIRED: We recommend new windows to the majority of the first floor.



Window literally falling out

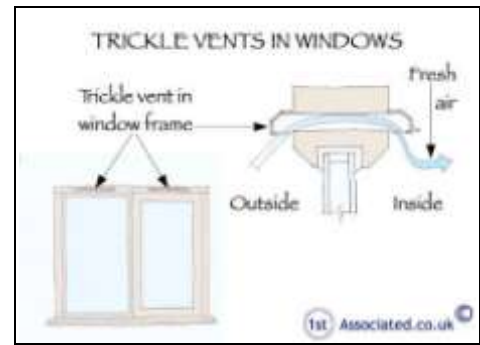
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ANTICIPATED COST: You can spend as much or as little as you want on windows. We would anticipate costs from £7,500 to £20,000 (seven thousand five hundred pounds to twenty thousand pounds). Make sure the windows have trickle vents to allow air circulation. Please obtain quotes.



Trickle vents

Trickle Vents Defined

Small vents to the windows to allow air movement inside the property to stop/reduce a build up of fumes or humidity.

Please see our comments in the Windows Section of the Report.

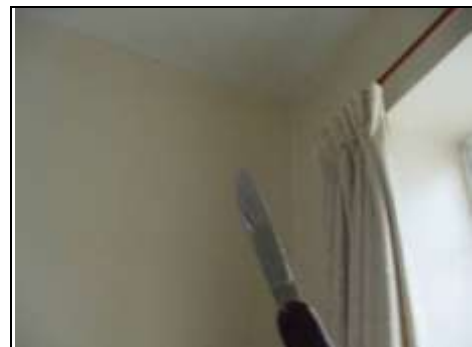
7.0) Condensation and cracking to first floor level

We can see there has been condensation to the first floor level which in turn has caused cracking to the plaster within the property and black mould (please see our article on black mould).

You also have a structural plaster defect in some of the walls; please see the High Priority Section.



Hairline cracking in corridor to right side between first and second toilets



Hairline cracking in rear right bedroom

ACTION REQUIRED: The problem will effectively be resolved when these rooms are no longer used for bed and breakfast, washing, etc. You will need to repair any cosmetic defects to the plaster. As it is a modern plaster it may be replastering and redecorating.

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You need to ensure you have suitable ventilation for the newly designed office.

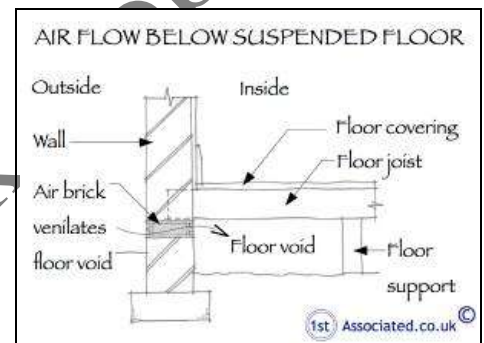
ANTICIPATED COST: Redecoration of the first floor once the amendments have been made to convert to an office – budget for £2,500 to £5,000 (two thousand five hundred pounds to five thousand pounds) depending upon the standard of finishes required. Please obtain quotes.

Please see our comments in the Dampness and Internal Walls Sections of the Report.

8.0) Floors

There is a suspended timber floor that we suspect has damp underneath it. It should have vents but we did not see any and we think this is why the floor is undulating.

ACTION REQUIRED: Ideally open up the floor before you commit to purchase the property to establish its condition underneath.



Suspended timber frame

ANTICIPATED COST: A few hundred pounds; please obtain quotes.

Please see our comments in the Floors Section of the Report.

9.0) Planning/Building Regulations

There may be restrictions that you have to comply with regarding this being a public house and generally considered as a community asset.

ACTION REQUIRED: Please see our article regarding The Charlton Tavern in the Appendices.

10.0) Fire Exit

More a general comment than specific requirement, as we do not know your proposed layout of the office, but there may be a requirement to have a fire exit and/or alternatively a safe area where a rescue could take place, which also could be your roof garden.

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ACTION REQUIRED: Ensure new layout meets current Building Regulations and Fire Standards.

11.0) Cellars, flooding and sump pumps

We were advised there was a sump pump but we could not see it, nor could we see the drains due the floor to ceiling storage of barrels limiting our view.



Barrel storage

This does indicate it is a flooding area. As we discussed, the London water table level is forever changing and also our weather seems to have altered/become more intense than it used to be, tending to lead to more flooding. This together with changes in water courses/new roads/new houses/alterations to existing houses (iceberg houses), etc.

ACTION REQUIRED: Please see our comments about improving the cellar in the Other Matters section.

12.0) Environmental Health Standards

The Altro-safety flooring in the bar, catering kitchen and wash up area would not meet current environmental health standards as it is damaged, although we spoke to the Manager who advised they did not have any outstanding environmental health notices.

We would also say that cellar does not meet environmental health standards due to the dampness in there, although it was very difficult to assess due to the amount of stored items.

ACTION REQUIRED: We suggest you have a 'cup of tea' meeting with the Environmental Health Officer before you legally commit to purchase the property.

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13.0) Services

13.1) Dated electrics

The fuseboards are from the xxxxxxxx. When we carried out our earth test it tripped the circuit indicating there are problems.

ACTION REQUIRED: Depending upon the extent of alterations you carry out we believe complete re-wiring is likely to be the best way forward.

We recommend an Institution of Engineering and Technology (IET) test and report to be carried out by an NICEIC registered and approved electrical contractor or equivalent.

ANTICIPATED COST: £250 - £500 (two hundred and fifty pounds to five hundred pounds) for an IET test plus any work recommended. For re-wiring expect costs in the region of £5,000 to £10,000 (five thousand pounds to ten thousand pounds). Please obtain quotations.



Older fuseboard



Fuseboard



Earth test tripped both fuseboards

13.2) No manholes found

Manholes are used where there is a change in direction of pipes or new pipes join the main run. It is therefore a good location for clearing any blockages. In this case we were unable to see any manholes.

Manholes Defined

Access areas which usually fit a man (or woman) into them and are put in where the drains change direction.

ACTION REQUIRED: We would recommend a closed circuit TV camera report of the drains.

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13.3) Grease traps

If you intend to have a high level of food within the building we recommend grease traps are installed. We haven't found any during the course of this survey.

ACTION REQUIRED: If you intend to have catering facilities it may be worth installing a grease trap.

13.4) Possible asbestos

We always have to give a warning of possible asbestos as when this building was being built asbestos, although was no longer in use in larger quantities as was once used, it still was being used for some elements.

As mentioned, we believe the slates may have an element of asbestos due to the whitening effect of the slates. The property also has what we believe may be asbestos pipework to the left side.

The bar ought to have an Asbestos Test Certificate but if one needs to be carried out.

As mentioned, our insurance company require us to advise we are not asbestos specialists and recommend you have an asbestos survey carried out by a specialist asbestos company.



Whitening of slates



Flue may contain asbestos

ACTION REQUIRED: You need to obtain an asbestos report from the existing owners or have one carried out yourself.

ANTICIPATED COST: £500 to £1000 (five hundred to one thousand pounds); please obtain quotations.

Please see the Services Section of this Report.

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High Priority

We normally put here things that we feel will be difficult to resolve and will need serious consideration.

Structural Problems

We can see cracked lines running vertically through the joint and brickwork to the left side of the property. It looks to have had repairs over the years which have re-opened up. This is approximately in line with the cellar and could relate to this or it could relate to the extra weight added on the original property by the extensions, or to the clay soil in the area and water table level problems.



High level vertical cracking to left hand wall in passageway

The movement may be acceptable, it may not, but it needs to be monitored and we cannot be 100% from a one-off inspection.



Vertical cracking to low level part of left hand wall

ACTION REQUIRED: Ideally we would recommend the existing owners take out an insurance claim, advising that the cracking has been noted by a structural surveyor (this should cost them nothing other than time to write the letter).

This usually means that the insurance company will carry out a monitoring exercise (the Building Research Establishment recommends monitoring any cracks for a minimum of one year) to establish if there is any progressive movement.

Your future liability will be limited to the cost of the excess on the insurance, providing the insurance company is happy for you to take over the insurance claim.

Your solicitor needs to ensure this is a legally watertight process and ensure your liability is limited to paying the excess on the insurance only.

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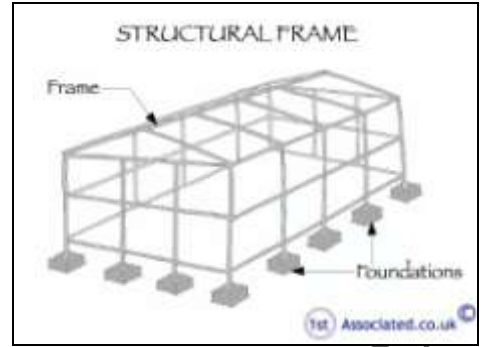
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Adding of a structural frame

As a further comment, we discussed the adding of a structural frame in the property so that alterations and extensions can be carried out to this building. You indicated this would be a solution that you would look at in the longer term and this may influence your decision and thoughts with regard to the structural movement.



Structural frame sketch

We would however add that most people would either be unhappy to buy a building with structural movement such as this and/or want a substantial discount. We do of course appreciate this depends upon what potential you see in the property and your risk profile when buying a property and general perception of risk as a whole.

Risk profile defined

This is the level of risk that people are prepared to take when buying a property.

Risk profile varies considerably and needs to be a personal/business decision that only you can make.

We are more than happy to talk to you as much as you wish until you are happy to make this decision.

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OTHER ITEMS

EXTENSIONS AND ALTERATIONS

Rear extension/light well/outside area

We spoke briefly about altering and extending the first floor level to give an outside area. There are two flat roofs to the rear; one at single storey level and one at two storey level, both of which may be possible to have as outside areas, subject of course to various amendments, alterations and Planning and Building Regulations.

This could incorporate balcony areas, glass roofs, roof windows/sky lights, etc.

Welfare Facilities

Depending on the number of staff you have there is a legal requirement for welfare facilities, toilets, wash rooms etc. You have the benefit of the upstairs being altered for bed and breakfast accommodation and as such have more drainage than you would typically find.

Open plan alterations to the first floor

It is always possible to remove all walls but it can be very expensive. There is a mixture of structural walls, a traditional structural studwork and modern studwork.

You do need to bear in mind that when, and if, you do remove walls on the upper floor that the ground floor has already has many walls removed.

Vaulted ceilings to first floor level

We would comment that again anything is possible. We have found that a mixture of vaulted ceilings and flat ceilings tend to have a good effect. Vaulted ceilings can either be with exposed timbers or with plasterboard lining and roof windows/sky lights.

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Ground floor meeting room

A way of creating this whilst still keeping light in the building would be for a glass partition, than you can have blinds or similar shutters when in use.

We spoke about acid etchings and branding the windows externally which would be a feature on the property.

MOVING ON TO MORE GENERAL INFORMATION

Maintenance

It should be appreciated that defects which would normally be highlighted in a modern property, effectively form part of the property's overall character and style. Such defects are considered acceptable and may not have been specifically referred to as defects within the context of this Report.

This type of property will require ongoing maintenance and repair and a budget for such work must be allowed to ensure it is maintained in good condition. This will prevent undue and unnecessary deterioration.

Services

We have carried out a visual inspection of the services and no tests have been carried out. We would comment as follows in brief. More detail is within the main body of the report.

Electrics

The electrics failed our earth test and tripped the fuseboards so we do think there are problems. We also need to advise you of the following:

The Institution of Engineering and Technology (IET) recommend a test and report whenever a property changes occupancy. This should be carried out by an NICEIC registered and approved electrical contractor or equivalent.

ACTION REQUIRED: The property is likely to need re-wiring. There are alterations that are relatively new but the rest of the property is quite old.

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Heating

We would recommend that the system be tested and overhauled before exchange of contracts and that a regular maintenance contract is placed with an approved heating engineer.

External Lighting

We have not checked the lighting of the public house; lighting can be a major marketing feature during the darker months.

Internal Lighting

This needs to be brought up to office standards on the first floor level.

Drainage

We were unable to locate any manholes at the property which is always a concern, please see our comments with regard to drainage. It could be leaking drains that are causing problems.

ACTION REQUIRED: Have a closed circuit TV camera report to establish the condition of the drains. In this age of property there have often been leaks over the years.

Water Supply

There is danger in older properties of having a lead water supply; we would recommend that you speak to the water company to ask them if they have carried out such replacement, as you will be re-piping much of the water used in the building it gives an ideal opportunity to also check for any remaining lead pipes.

ACTION REQUIRED - SERVICES: We would reiterate that we recommend with regard to all services that you have an independent check by a specialist contractor.

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Purchase Price

We have not been asked to comment upon the purchase price in this instance.

Estimates of Building Costs

Where we have offered an estimate of building costs please remember we are not experts in this area. We always recommend you obtain quotations for the large jobs before purchasing the property (preferably three quotes). The cost of building work has many variables such as the cost of labour and estimates can of course vary from area to area when giving a general indication of costs. For unskilled labour we currently use between £75 and £100 (seventy five pounds and one hundred pounds) per day (the higher costs in the city areas) and for tradesmen we use between £100 and £200 (one hundred and two hundred pounds) per day for an accredited, qualified, skilled tradesman. Other variations include the quality of materials used and how the work is carried out, for example off ladders or from scaffold.

If you obtain builders estimates that vary widely, we would advise the work is probably difficult or open to various interpretations and we would recommend a specification is prepared. It would usually be best to have work supervised if it is complex, both of which we can do if so required.

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SUMMARY UPON REFLECTION

The Summary Upon Reflection is a second summary so to speak, which is carried out when we are writing the second or third draft a few days after the initial survey when we have had time to reflect upon our thoughts on the property. We would add the following in this instance:

The structural movement in the property would put many people off/and or request a considerable discount on the property to open market value.

We do appreciate your comments with regard to further alterations you would make and the adding of a structural frame.

We feel the property does have considerable potential for you from what we have discussed however it will be a fair amount of work. We would add with older properties often unforeseen things can come to light.

We would particularly draw your attention to the need to check for asbestos as well as the structural cracking. We would also advise that we would obtain estimates from builders with regard to the costs before you commit to legally purchase the property.

We would refer you to our comments in the Plus Points, Medium Priority and High Priority Sections and ask that you re-read these.

As a general comment for any work required we would always recommend that you obtain at least three quotations for any work from a qualified, time served tradesperson or a competent registered building contractor prior to legal completion.

We would ask that you read the Report and contact us on any issues that you require further clarification on.

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AERIAL VIEW – 360 PHOTOS

Where permission has been obtained from the owners we have carried out aerial photographs using an aerial drone, stationary drone or a monopod pole where the environment (for example no cars parked near to the property) and weather (warm windless day) are suitable.



Drone



View along the street
Aerial view -360 photo



Front view
Aerial view -360 photo



Slipped tiles on roof
Aerial view -360 photo



Deteriorating brickwork on
the chimney
Aerial view -360 photo



High level front view
Aerial view -360 photo



Flashband repairs on step
in left side of roof
Aerial view -360 photo

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MORE ABOUT THE REPORT FORMAT

Just a few more comments about the Report format before you read the actual main body of the Report.

TENURE – FREEHOLD (OR AS GOOD AS)

We have assumed that the property is to be sold Freehold or Long leasehold, with no unusual or onerous clauses and that vacant possession will be available on completion. Your Legal Advisor should confirm that this is the case.

ESTATE AGENTS – FRIEND OR FOE?

It is important to remember that the estate agents are acting for the seller (usually known as the vendor) and not the purchaser and are therefore eager to sell the property (no sale – no fee!). We as your employed Independent Chartered Surveyor represent your interests only.

SOLICITOR/LEGAL ADVISOR

To carry out your legal work you can use a solicitor or a legal advisor. We have used both terms within the report.

TERMS OF ENGAGEMENT/LIMITATIONS

This report is being carried out under our terms of engagement for Residential Building Surveys, as agreed to and signed by yourselves. If you have not seen and signed a copy of our terms of engagement please phone immediately.

OUR AIM IS ONE HUNDRED PERCENT SATISFACTION

Our aim is for you to be completely happy with the service we provide, and we will try and help you in whatever way possible with your property purchase - just phone us.

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**THE DETAILED PART OF THE REPORT
FOLLOWS, WORKING FROM THE TOP OF
THE PROPERTY DOWNWARDS**



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EXTERNAL

CHIMNEY STACKS **AND FLUES** **AND PARAPET WALLS** **AND ROOF WINDOWS / SKY LIGHTS**

Chimney Stacks, Dutch Gables and Parapet Walls

Chimneys developed originally from open fires placed within buildings. From this, the chimney has developed to its present day format where it is used as an aesthetic feature and focal point rather than purely just to heat the room.

There are three chimneys to this property, located to the left side, right side and right corner (all directions given as you face the property).



Overview of chimneys
Aerial view – 360 photo

Chimney One, Dutch Gable and Parapet Wall located to left side

This chimney is built in a soft red brick finished. From what we could see from ground level it looked in below average condition considering its age, type and style.

We noted an aerial attached to the chimney which we are not keen on as it cuts into the brickwork rather like a cheese wire cutting into cheese.



Left chimney
Aerial view – 360 photo



Left chimney
Aerial view – 360 photo

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Unfortunately we were unable to see the flaunching, we therefore cannot comment upon them.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Flaunching

Chimney Two, Dutch Gable and Parapet Wall located to corner

This chimney is also brick built with a soft red brick with parapets and Dutch gables. It has one flue. It is in below average condition for its age, type and style.

Again there is an aerial attached to the brickwork, which we do not like.



Corner chimney



Back of corner chimney,
Dutch gable and parapets
Aerial view – 360 photo



Close up of back of corner
chimney
Aerial view – 360 photo

ACTION REQUIRED: Please see our comments in the Executive Summary.

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**Chimney Three and Dutch Gable
located to right side (Middle Row)**

This chimney is also built with a soft red brick and again is in below average condition for its age, type and style.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Chimney to right side
Aerial view – 360 photo

Chimney Removed

We would comment that a chimney may have been partially removed, as seen within the roof space.

There were a lot of stored items in the roof at the time of our inspection which limited our view.



Chimney partially taken down
visible within roof

Flashings Defined

Flashings prevent dampness from entering the property, usually at junctions where materials change. Such a junction is the one between the chimney and the roof.

Flaunchings Defined

A low, wide cement mortar fillet surrounding the flue terminal on top of the chimneystack to throw off rainwater.

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Roof Windows / Sky Lights

There are roof windows/sky lights on the rear single storey flat roof. This is a flat, flat roof and as such think water will sit on it which can lead to leaks around roof windows/skylights.

There looked to be a felt flashing around it which is not ideal.



Roof windows / sky lights

Finally, we have made our best assumptions on the overall condition of the chimney stacks, flues, parapet walls and roof windows from the parts we could see above roof level. The inspection was made from ground level within the boundaries of the property (unless otherwise stated) using a x16 zoom lens on a digital camera and/or aerial photographs. A closer inspection may reveal latent defects.

Please also see Chimney Breasts, Flues and Fireplaces Section of this Report.

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ROOF COVERINGS AND UNDERLAYERS

The Roof Coverings and Underlayers section considers the condition of the outer covering of the roof. Such coverings usually endure the extremes of climate and temperatures. They are susceptible to deterioration, which ultimately leads to water penetration.

Dependent upon the age of your property and the type of construction a protective underlayer may or may not be present, please read on:

We will consider the roofs in three areas:

- 1) Main roof
- 2) Flat roofs
- 3) Small lead roof to front

Main Roof

The main roof is a shallow pitched, hipped roof, clad with slates. From ground level and aerial photography this looks in below average condition considering the roof's age type and style.

There are areas of slipped, displaced slates and lead tingles. We believe, due to the whitening of the slates, that they may have an asbestos content. We also noticed a dip in the roof to the rear.

We are always in a Catch-22 with regard to this type of roof as to what to recommend, as although it is letting in some rain water,; it is not letting in that much.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Slipped slates and lead tingles



Dip in roof (red oval)
with Flashband repairs below
(green oval)

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Valley Gutters and Step in Roof

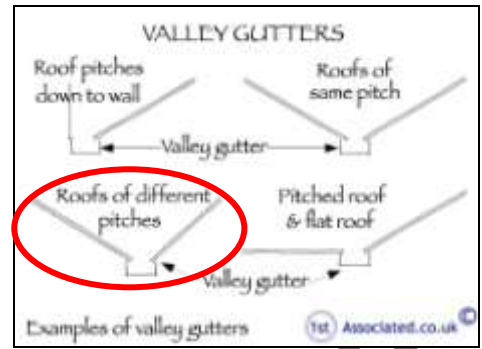
There are valley gutters to the main roof. These are often problematic areas and can become easily blocked as they are often difficult to access.

There is a step in the roof on the left side which has Flashband repairs. We consider this a temporary material and recommend it is replaced with lead.

Flashband Defined

Flashband is a sticky backed felt which is best used for temporary repairs only.

ACTION REQUIRED: Check and clean valley gutters when the roof work is being carried out.



Valley gutters



Rear valley gutter (red oval)
and lead tingles (green oval)
Aerial view – 360 photo



Rear valley gutter with damaged
and slipped slates



Flashband repairs on step
in left side of roof

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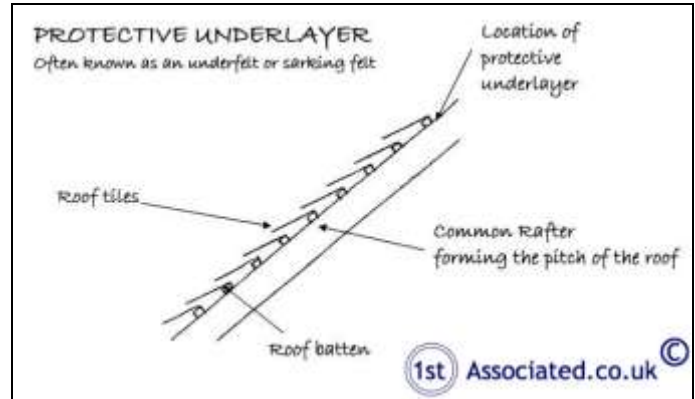
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Protective Underlayer (Often known as the sarking felt or underfelt)

From the 1940s onwards felts were used underneath tiles/slates to stop wind damage and water penetration, these in more recent years have been replaced with plastic equivalents. These are commonly known as underfelts but now the name is not really appropriate, as felt is not the only material used.



Protective underlayer

We were only able to access the right side of the roof. Within the right side it is partially close boarded and partially has a Hessian base Bitumen membrane. This type of membrane has been used since the 1960s.

We generally found it to be in average condition, it is damaged in a few more places than we normally find.



This photo shows the common rafters (the ones that form the pitch of the roof) and the dark area between is the underlayer.

Close Boarding Defined

These are timbers positioned on the common rafters which are butt jointed together. They add to the wind resistance and water-tightness of the roof together with the overall structural integrity of the roof. Usually this type of roof does not have an underfelt, this can lead to problems if the roof is not cross-battened as wet rot will occur to the underside of the timbers. This is very difficult to identify.



Close boarding

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Flat Roofs

Whilst these roofs are called "flat", present building regulations and good building practice presently requires a minimum fall of 12 degrees.

Flat roofs are formed in a variety of materials. Difficulties can arise when the water is not discharged from the roof but sits upon it, as this can soon lead to deterioration which flat roofs are renowned for.

Rear two storey flat roof

There is a high level flat roof covered with felt. We can see an area of moss on it indicating it is a flat, flat roof, by this we mean without any fall on the roof.



Rear two storey flat roof

ACTION REQUIRED: No doubt there is life left in this roof and it can be patch repaired for a while, particularly if you are looking to develop this area.

It is possibly worth putting a loft hatch in it to allow easier access to the flat roof and also the surrounding pitched roofs for maintenance and repair work.

Rear single storey flat roof

This roof is felt covered with six roof windows / sky lights. This is also a flat, flat roof without a fall.

Parapet wall

There is a small parapet wall surrounding the flat roof. The staining on the parapet wall indicates dampness is getting through the joints of the coping stone.



Flat roof with domed roof windows / sky lights, surrounded by parapet walls

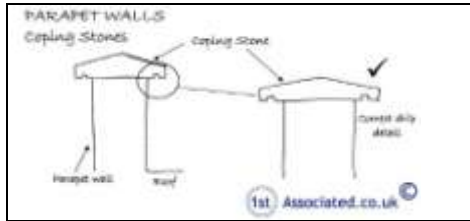
ACTION REQUIRED: During our discussions you advised that you will be looking to extend to the rear which will make this roof redundant, although again, from what we can see, it will be possible to patch repair it for some time (a year or so) until development is carried out.

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Coping stones



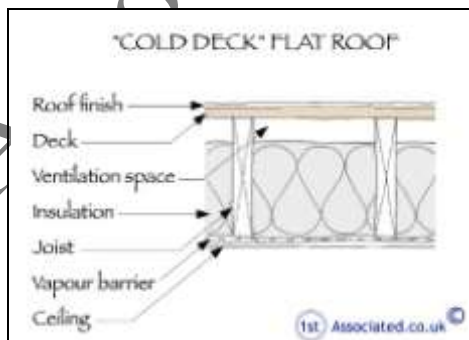
Parapet wall surrounding flat roof

Further information on flat roofs

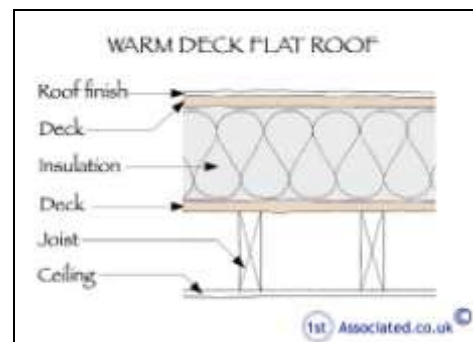
The latest Building Regulations now require flat roofs to be ventilated. Building Regulations are not retrospective but the reason for the requirement is to make sure that any moisture that enters the roof construction is dispelled by way of ventilation. We would suggest that if the opportunity arises ventilation should be provided. This will stop the possibility of fungal growth above the ceiling in the flat roof area.

Insulation

Also it could not be established if there is insulation within the roof or a vapour barrier, without the vapour barrier and combined with inadequate ventilation there will be an increase in the risk of wet or dry rot.



Cold roof



Warm roof

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Small front lead roof/upstand

There is small lead roof/upstand to the front of the property. It is moss covered indicating it does not have a big enough fall on it. It is very difficult to amend and does mean that water can get into this area if it is not well maintained.



Small roof/upstand
Aerial view – 360 photo



Lead roof/upstand
Aerial view – 360 photo

ACTION REQUIRED: General clean and make good / make watertight.

All the roofs were inspected from ground level with the aid of a x16 zoom lens on a digital camera and/or aerial photographs.

Finally, we were only able to see approximately sixty percent of the main roof from ground level, via our ladder, or via any other vantage point that we managed to gain. We have made our best conclusions based upon what we could see, however a closer inspection may reveal other defects.

For further comments with regard to ventilation please see the Roof Structure and Loft Section.

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ROOF STRUCTURE AND LOFT

(ALSO KNOWN AS ROOF SPACE OR ATTIC SPACE)

The roof structure or framework must be built in a manner which is able to give adequate strength to carry its own weight together with that of the roof covering discussed in the previous section and any superimposed loads such as snow, wind, foot traffic etc.

Main Roof

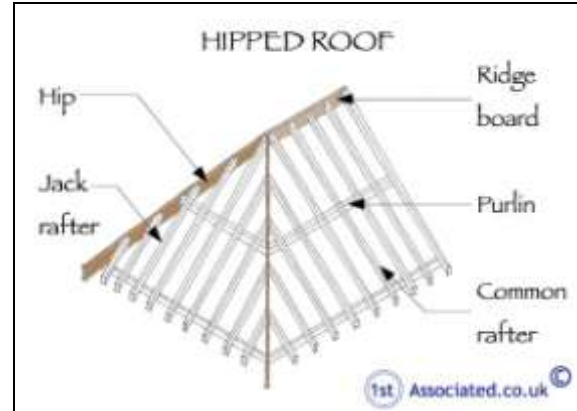
Roof Access

The main roof to the right side is accessed via the loft hatch located in the first floor corridor to the front of the property. There is no loft ladder and we recommend one is added to make it safer and easier to access, plus the addition of additional lights.

The loft perimeter has been viewed by torchlight, which has limited our viewing slightly.

Roof Structure

This type of roof structure has what is known as a hipped cut timber roof with amendments. This is a roof that is purpose made and hand built on site. Without the original design details we cannot categorically confirm that there are no defects.



Hipped cut timber roof

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Roof Timbers

We have inspected the roof structure on the right side for:

1. Serious active woodworm
2. Structurally significant defects
3. Structurally significant dry rot
4. Structurally significant wet rot

Our examination was limited by the general configuration of the roof, the insulation and large mass of stored items. What we could see was generally found to be in below average condition for its age, type and style. It is, however, feasible that there are problems in the roof that are hidden.

There is dampness in the timbers and splits in some of the purlins.

ACTION REQUIRED: Please see our comments in the Executive Summary.

The only way to be 100 per cent certain is to have the roof cleared and checked.

Purlins Defined

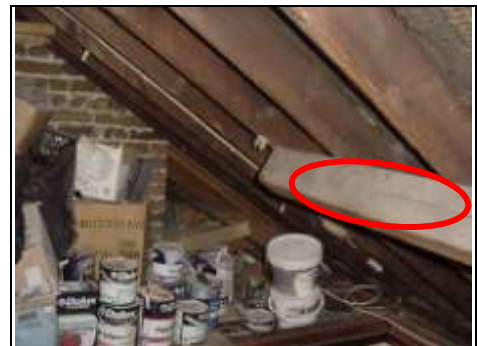
Purlins are the horizontal cross members that give support to the common rafters.



Supported roof to rear right



Dampness coming in through rear valley



Split in purlin over entrance to roof



Staining to floor indicating rainwater coming in

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Water Tanks

We did not note any water tanks at the time of our inspection. However our view was limited due to the mass of stored items.

Ventilation

Where there is close boarding the roof is naturally ventilated.

There is no ventilation to the Hessian based underlayer.

Insulation

Please see the Thermal Efficiency Section of this Report.

Electrical Cables

We can often identify the age of an electrical installation by the age of wiring found in the roof. In this case we could not see it due to the mass of stored items.

Please see our further comments in the Services Section of this Report.

Finally, we would ask you to note that this is a general inspection of the roof, i.e. we have not examined every single piece of the roof. We have offered a general overview of the condition and structural integrity of the area.

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GUTTERS AND DOWNPIPES

The function of the gutters and downpipes is to carry rainwater from the roof to the ground keeping the main structure as dry as possible.

Defective gutters and downpipes are a common cause of dampness that can, in turn, lead to the deterioration of the property. Regular inspection and adequate maintenance are therefore essential if serious problems are to be avoided.

Gutters and Downpipes

The gutters and downpipes are plastic. They are in below average condition for their age, type and style. They are overflowing and discharging against the walls which can lead to dampness.

Sit on gutters

Some of the gutters are sit on gutters. They are leaking and causing efflorescence to the brickwork below.

Efflorescence Defined

Efflorescence is the white salt found on brickwork/stonework. It is a natural phenomenon which is where the minerals in water as they dry out come to the surface of stone or brick and leave a white crystallised powder, almost flour like. On a red brick it can stand out considerably, almost appearing bright white on a lighter white or yellow brick it can almost disappear.

ACTION REQUIRED: Please see our comments in the Executive Summary.

We would always recommend that the gutters and downpipes are cleaned out, the joints are checked and the alignment checked to ensure that the gutters fall towards the downpipes.



Paint worn away from gutter and downpipe discharging down wall



Dampness in the form of efflorescence on brickwork from overflowing gutter



Sit on gutter

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Soil and Vent Pipes

The property has plastic soil and vent pipes.

Although we can see vents at roof level we can also see within the roof space they are not connected.

ACTION REQUIRED: If you wish to carry on using it as guest accommodation then we recommend all soil and vent pipes and extract systems are connected.

ANTICIPATED COST: A few hundred pounds; obtain quotes.

Finally, gutters and downpipes and soil and vent pipes have been inspected from ground level. As it was not raining at the time of the inspection it is not possible to confirm 100 per cent that the rainwater installation is free from blockage, leakage etc. or that it is capable of coping with long periods of heavy rainfall. Our comments have therefore been based on our best assumptions.

There may be some painted asbestos pipes at high level. It is very difficult to identify these from ground level. Our comments are therefore based upon our best assumptions.



Soil and vent pipe



Numerous soil and vent pipes



Vent not connected in roof space

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WALLS

External walls need to perform a variety of functions. These include supporting upper floors and the roof structure, resisting dampness, providing adequate thermal and sound insulation, offering resistance to fire and being aesthetically presentable.

The walls are constructed of brickwork.

Brickwork

The property is built in a brick originally in a lime mortar in what is known as Flemish bond brickwork. There is an area of painted brickwork to the left side of the property.

The term Flemish Bond relates to the way the bricks are bonded together and have a pattern visible from the outside of the property that shows the end of the brick (header), then the side of the brick (stretcher), then the end of the brick, then the side of the brick, and this pattern repeats course after course, i.e. header-stretcher, header-stretcher.

Timber lintels and bonding timbers

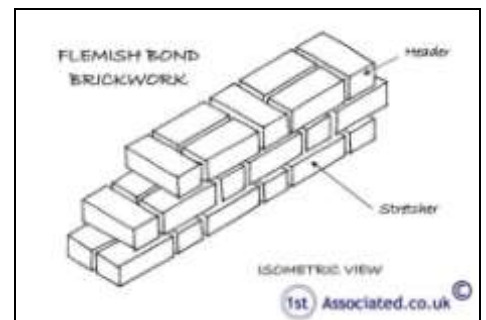
Before the 19th Century, the practice of building timbers into external walls was almost universal. These were known as bonding timbers. They are of course prone to rot as solid walls allow dampness through. Unfortunately, without opening up the structure, we are unable to confirm if this is the case.

Using soft red bricks at high level

Please see our comments in the Chimneys Section of this report.



Flemish bond brickwork: soft red and yellow stock bricks
Aerial view – 360 photo



Flemish bond brickwork

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Condition

Generally Flemish Bond brickwork is liable to penetrating dampness internally, dependent upon the condition of the brickwork and the exposure to the weather. It is essential that external faces be kept in good condition.

Cracking

There is a long vertical crack running all the way down the left side of the property. It looks to be historic as we can see that it has been sealed in some areas, however from a one-off inspection we cannot be certain.



ACTION REQUIRED: Please see our comments in the Executive Summary about monitoring the cracks and an insurance claim by the existing owners.

Finally, the external walls have been inspected visually from ground level and/or randomly via a ladder. Where the window and door lintels are concealed by brickwork / plasterwork we cannot comment on their construction or condition. In buildings of this age timber lintels, concrete lintels, rubbed brick lintels or metal lintels are common, which can be susceptible to deterioration that is unseen, particularly if in contact with dampness.

Our comments have been based upon how the brickwork / plaster has been finished. We have made various assumptions based upon what we could see and how we think the brickwork / plaster would be if it were opened up for this age, style and type of construction. We are however aware that all is not always as it seems in the building industry and often short cuts are taken. Without opening up the structure we have no way of establishing this.

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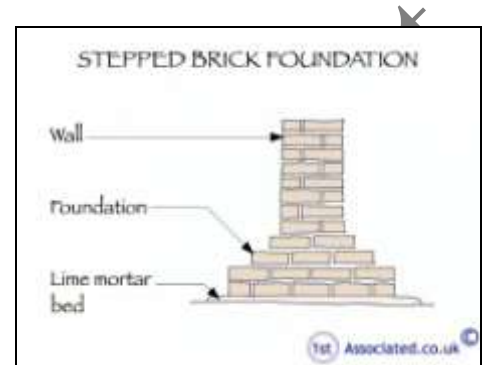


FOUNDATIONS

The foundations function is, if suitably designed and constructed, to transfer the weight of the property through the soil. As a general comment, many properties prior to the 19th Century have little or no foundations, as we think of them today, and typically a two-storey property would have one metre deep foundations.

Brick Foundations

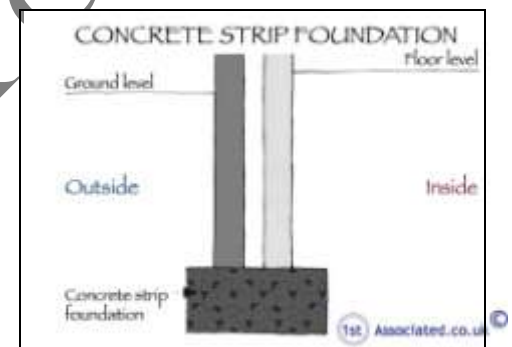
Given the age of the property you may find different depths of foundations. We would expect to find a stepped brick foundation possibly with a bedding of lime mortar to the original part of the property.



Stepped brick foundation

Concrete Foundations

Newer extensions are likely to be a concrete foundation.



Concrete foundation

London Clay

As with most properties in the London area, this property stands on London Clay. It is therefore more susceptible than most should drains leak or trees be allowed to overgrow etc. It is not unusual to have some settlement in London properties.

Building Insurance Policy

You should ensure that the Building Insurance Policy contains adequate provision against any possibility of damage arising through subsidence, landslip, heave etc.

It is your responsibility to check out prior to commitment to purchase that insurance is available on the property on the basis of the things we have reported in the survey. Much as we would like to, we are unable to keep up with the changing insurance market and give you advice with regard to this.

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Cracking

Please remember to talk about any cracks identified within the property. Often insurers will refer to progressive and non-progressive cracking. Unfortunately this is something we are unable to comment upon from a one-off inspection; the Building Research Establishment recommends a year of monitoring of any cracking.

We would always recommend that you remain with the existing insurance company of the property.

We would refer you to our comments with regard to building insurance throughout this report.

Finally, we have not excavated the foundations but we have drawn conclusions from our inspection and our general knowledge of this type, age and style of property.

As no excavation has been carried out we cannot be 100 per cent certain as to how the foundation has been constructed and we can only offer our best assumptions and an educated guess, which we have duly done.

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TREES

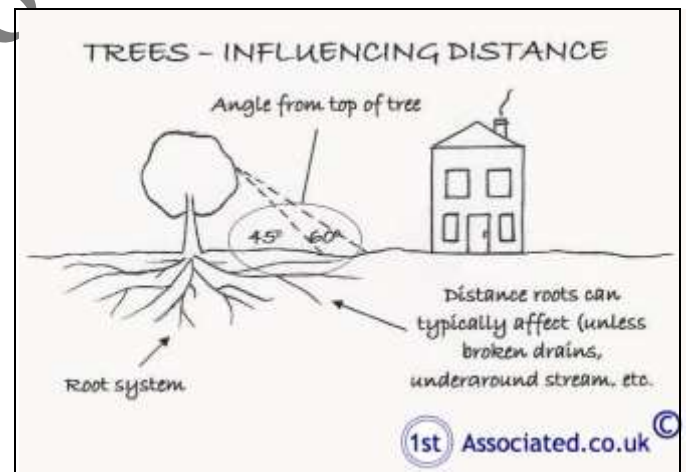
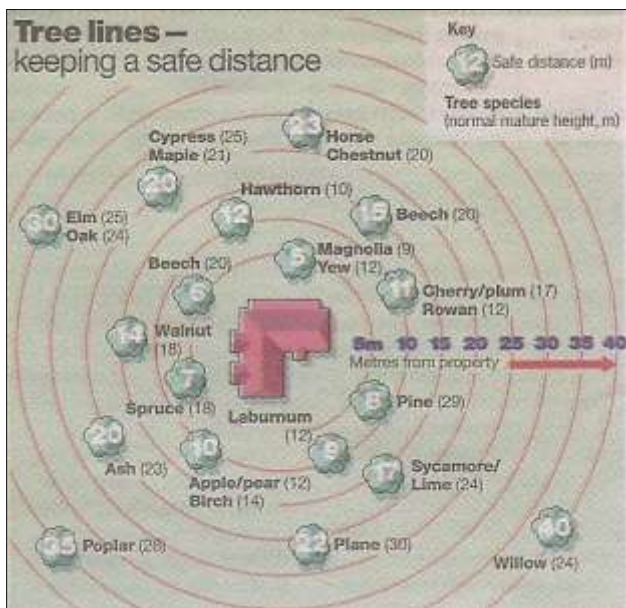
Trees within influencing distance of a property can affect the foundations by affecting the moisture content of the soil.

There is a large tree to the front of the property within what we would term as influencing distance, but you do need to speak to your insurance company as they may have a different interpretation for insurance reasons.

ACTION REQUIRED: This will be the responsibility of the Local Authority and we recommend you contact them to see how often they maintain their trees and also advise them that the tree is well above the level of the property and ask when they are next coming to carry out work.



Large tree to front
Aerial view – 360 photo



Influencing distance of trees to a property

Influencing Distance Defined

This is the distance in which a tree may be able to cause damage to the subject property. It is not quite as simple as our sketch; it depends on the tree, its maturity, the soil type etc., etc.

Finally, insurance requirements with regard to trees have varied over the years and in our opinion have got ever more onerous. We have seen the notifiable distance of a tree away from a property to have been reduced over the years and we reiterate our comments elsewhere within this report that you need to make enquiries with regard to the insurability of your property in relation to trees and other features when you purchase the property. Please also refer to the External Areas Section.

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DAMP PROOF COURSE

The Building Act of 1878 required a damp proof course to be added to all newly built properties within the London area. It also required various other basic standards. These requirements were gradually taken up (or should that be grudgingly taken up) throughout London and then the country as a whole, although this took many years for it to become standard practice.

All modern properties should incorporate a damp proof course (DPC) and good building practice dictates that a differential of 150mm (6 inches) should be maintained between the damp proof course and ground levels. In this case a DPC was not visible due to the panelling in some areas and we could see in other areas.



Panelling on property

There is also blistering to the paintwork which indicated to us there is dampness present below the floor level, which in turn relates to why it is undulating.

Your attention is drawn to the section of the report specifically dealing with dampness.

Finally, sometimes it is difficult for us to identify if there is a damp proof course in a property. We have made our best assumptions based upon our general knowledge of the age, type and style of this property.

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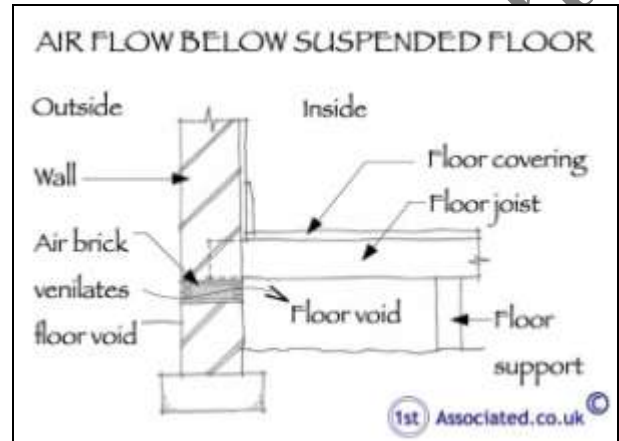
AIRBRICKS

In properties with suspended floors you need to have an airflow beneath to stop deterioration. The air is allowed to pass under the property by the use of airbricks. Generally the rule of thumb is that airbricks are spaced every metre and a half approximately, but this depends upon the specific circumstances of the property.

Low Level Air Bricks

We were unable to see any air bricks at low level, which is a problem as we think there is a suspended floor. Air bricks are essential to have a through flow of air as this helps to reduce the chances of wet rot, dry rot and woodworm.

ACTION REQUIRED: Please see our comments ion the Executive Summary.

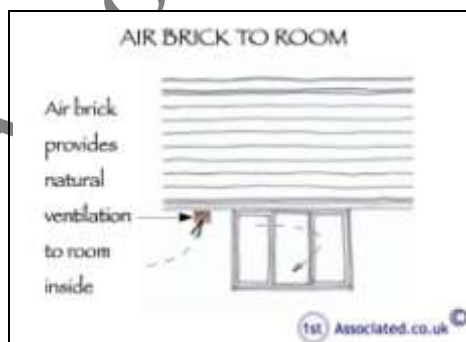


Suspended timber floor

We believe there should be air bricks unless the floor has been completely replaced with a solid floor, which we think unlikely.

High Level Air Bricks

There are vents at high level. High level air bricks are to help air circulation within the property.



High level airbrick



High level vent

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ACTION REQUIRED: We noticed the vent is blocked up internally.

Please ensure all vents are clear.



High level vent needs unblocking

Finally, we have made our best assumptions based upon our visual inspection of the outside of the property and our general knowledge of this age, type and style of construction. We have not opened up the walls/floor, unless we have specifically stated so in this section.

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FASCIAS AND SOFFITS AND WINDOWS AND DOORS

This section covers fascias, soffits and bargeboards and windows and doors, and any detailing such as brick corbelling etc.

Fascias and soffits offer protection to the rafter feet and also allow the securing of the guttering. Windows primary functions are to admit light and air, but they also have thermal and sound properties. The doors allow access and egress within the property.

Fascias and Soffits

The fascias and soffits are timber. They are painted and we would comment they are in below average condition for their age, type and style, as they appear to have been partly painted and then forgotten about.

ACTION REQUIRED: Prepare, repair and redecorate.

Make sure gutters and downpipes are watertight before carrying out any work on fascias and soffits.



Fascias and soffits need redecoration

Windows and Doors

There are timber double glazed windows to ground floor level and plastic double glazed windows at first floor level.

Timber windows

The timber windows are starting to deteriorate. There are signs of wet rot in the timbers when we carried out our knife test.



Signs of wet rot in timber windows

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Plastic double glazed windows

We would draw your attention to the fact that sealed double glazed units can fail, particularly as a result of poor workmanship during installation. Failure of the seal leads to condensation between the two panes of glass and simply replacing the affected units may not provide a satisfactory long-term solution.



In this case they look in poor condition. We noted one window literally about to fall out.

Window loose and in danger of falling out

ACTION REQUIRED: Please see our comments in the Executive Summary.

Enquiries should be made as to the existence of any transferable guarantees by your legal advisor. Generally it is considered that double glazed units have a life of about ten years.

Finally, we have carried out a general and random inspection of the external joinery. In the case of the fascias and soffits it is typically a visual inspection from ground level. With the windows and doors we have usually opened a random selection of these during the course of the survey. In this section we are aiming to give a general overview of the condition of the external joinery. Please also see the Internal Joinery section.

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EXTERNAL DECORATIONS

The external decorations act as a protective coat for the building from the elements. Where this protective covering has failed, such as with flaking paintwork, the elements will infiltrate the structure. This is of particular concern as water is one of the major factors in damage to any structure.

Painting Over Problems – Painted to Sell?

The external decoration looks in reasonable condition but we think they have painted over problems so they may deteriorate fairly rapidly.

The fascias and soffits have only been partially decorated to the front of the property where everyone can see but not to the rear.

ACTION REQUIRED: Redecorate in the summer of xxxx.

Finally, ideally external redecoration is recommended every four to five years dependent upon the original age of the paint, its exposure to the elements and the materials properties. Where painting takes place outside this maintenance cycle repairs should be expected. Ideally redecoration should be carried out during the better weather between mid-April and mid-September.

Please see our comments in the External Joinery section.

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INTERNAL

CEILINGS, WALLS, PARTITIONS AND FINISHES

In this section we look at the finish applied to the structural elements such as the plasterwork applied to the ceiling joists, walls or partitions, together with the construction of the internal walls and partitions.

Ceilings

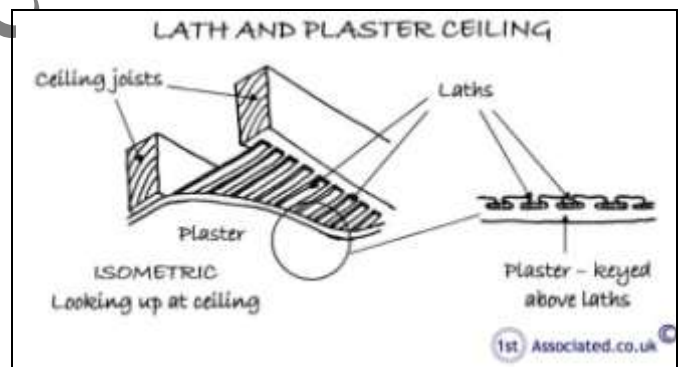
From our visual inspection of the ceilings and our general knowledge of this age and type of construction we believe that the ceilings are likely to have been lath and plaster. There is modern plaster finish throughout the property.



Straight crack in ceiling to right side (Middle Row side)

Lath and Plaster Defined

Laths are thin strips of timbers which are fixed to the structure. Wet plaster is applied to the laths, usually in several layers. The plaster forms a key as it is forced between the laths. This plaster, once dry, is given further coats and often a decorative finish.



Lath and plaster ceiling

Plasterboard Defined

The usual name for Gypsum plasterboard which is building board with a core of aerated gypsum, usually enclosed between two sheets of heavy paper, used as a dry lining.

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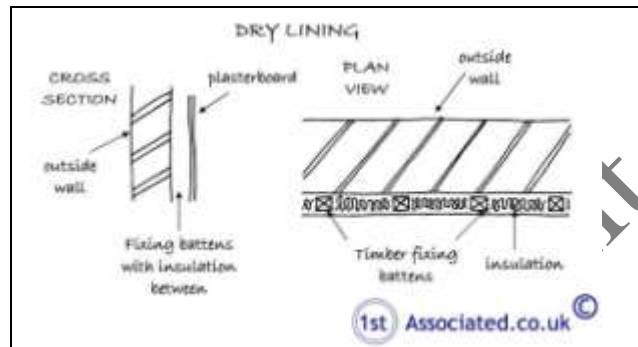
Perimeter Walls

In buildings of this age, type and style the perimeter walls are often dry-lined/false walls, finished with a modern plaster.

We have not opened up the perimeter walls so we cannot be certain of the structure of them.

We noted hairline cracking to the walls. We believe these relate to the structural problems in the property.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Dry lining



Hairline cracking in rear right bedroom

Internal Walls and Partitions

The walls are a mixture of solid and modern studwork and structural studwork, finished with a modern plaster.

We repeat our earlier comments about hairline cracking.

Again it is impossible to determine the construction without opening up the walls and have therefore taken an educated guess.

Finally, ceilings, walls and partitions have been inspected from floor level and no opening up has been undertaken (unless permission has been obtained by yourselves). In some cases the materials employed cannot be ascertained without samples being taken and damage being caused.

We cannot comment upon the condition of the structure hidden behind plaster, dry lining, other applied finishes, heavy furniture, fittings and kitchen units with fitted back panels.

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FLOORS

Functionally floors should be capable of withstanding appropriate loading, preventing dampness, have thermal properties and durability. In addition to this, upper floors should offer support for ceilings, resistance to fire and resistance to sound transfer.

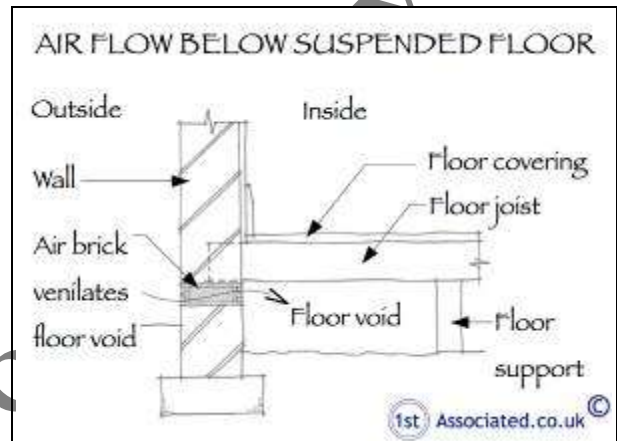
Cellar

The floors felt solid under foot and we have assumed they are concrete.

Ground Floor

We believe the ground floor is a suspended timber floor, which requires air movement underneath to minimise wet rot, dry rot and woodworm.

As mentioned we could not see any vents and part of the floor to the newer rear extension may possibly have been replaced with a solid floor, but we believe it needs air vents.



Suspended timber floor

ACTION REQUIRED: Please see our comments in the Executive Summary. We recommend the floors are opening up before legally committing to purchase the property.

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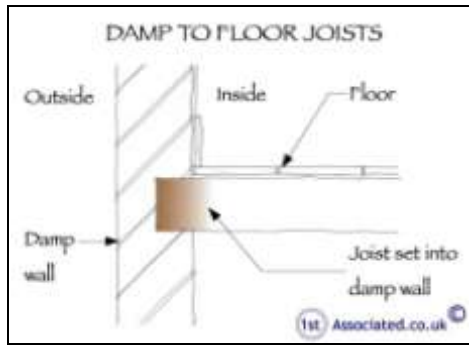
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First Floor

We have assumed that the first floor construction is joist and floorboards with embedded timbers, as this is typical in this age of property.

We noted a dip in the floor in the rear right bedroom. There may be rot to the embedded timbers.



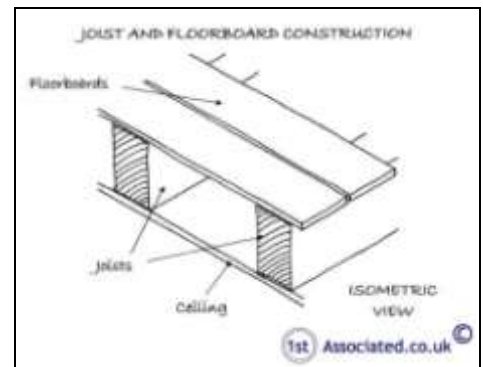
Embedded timbers



Dip in floor in Bedroom 5 to the rear right

Joist and Floorboard Construction Defined

These are usually at first floor level consisting of a joist supported from the external walls, either built in or, in more modern times, sitting upon joist hangers, sometimes taking additional support from internal walls, with floorboards fixed down upon it.



Joist and floorboards

Finally, we have not been able to view the actual floors themselves due to them being covered with fitted carpets, floor coverings, vinyl flooring etc. The comments we have made are based upon our experience and knowledge of this type of construction. We would emphasise that we have not opened up the floors in any way or lifted any floorboards.

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CHIMNEY BREASTS, FLUES AND FIREPLACES

With the advent of central heating fireplaces tend to be more a feature than an essential function in most properties.

The chimney breasts are located to the left, middle and right (all directions given as you face the front of the property).

At the time of the survey no chimneys were in use. Any chimneys that you do not propose to use should be capped and ventilated to prevent dampness.

Any chimneys you do intend to use should be swept and a check should be carried out that a lining is in place.

We think some of the chimneys have been removed, but it was very difficult given the layout of the property to establish exactly which ones.

ACTION REQUIRED: Your legal adviser needs to check and confirm whether Building Regulation Permission has been obtained for removal of chimneys. If it has not please advise us immediately before committing to purchase so we can comment further.

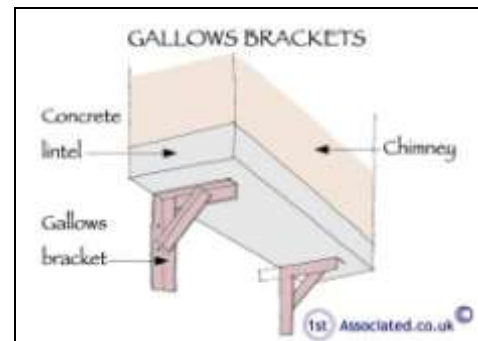
You do need to check to see how they are supported. Gallows brackets were a very common method in years gone by.

Please see our comments on chimneys in the Executive Summary.

Finally, we will comment on the condition of the chimney breast where we can see the chimney breast. If we can see a chimney breast has been removed we will inspect for signs of movement and advise. However, often the chimney breasts are hidden and we do not comment as modern techniques for adding support can be concealed very well particularly when plastered over.



Room 8 to rear middle
Is this a chimney breast?



Gallows brackets

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Your Legal Advisor needs to specifically check with the Local Authority for removed chimneys and associated chimney breasts and Building Regulations Approvals and advise by e-mail immediately if chimney breasts are found to have been removed.

We would recommend opening up the structure to check the condition. If we are not advised we will assume the relevant Building Regulations Approval has been obtained. It is strongly recommended that flues be cleaned and checked for obstructions prior to use to minimise the risk of hazardous fumes entering the building.

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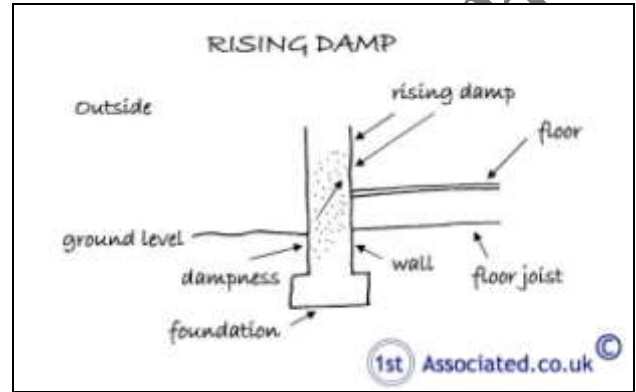


DAMPNESS

In this section we look at any problems that are being caused by dampness. It is therefore essential to diagnose the source of the dampness and to treat the actual cause and not the effect of the dampness.

Rising Damp

Rising damp depends upon various components including the porosity of the structure, the supply of water and the rate of evaporation of the material, amongst other things. Rising damp can come from the ground, drawn by capillary action, to varying degrees of intensity and height into the materials above.



Rising damp

A visual inspection and tests with a moisture meter have been taken to the perimeter walls. In this particular case we were unable to get readings on some of the walls due to the walls being dry lined.

We did find damp readings in the cellar and on the left wall, which could mean the brick paves are too high and/or the suspended timber floor or the concrete floor having dampness within it.



Dry lined walls

ACTION REQUIRED: Please see the Executive Summary regarding the floors where we have suggested areas of the floor are opened up.

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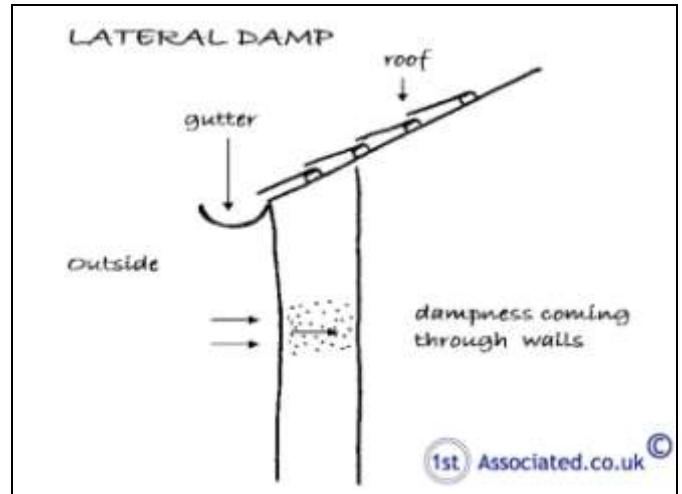
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Lateral or Penetrating Dampness

This is where water ingress occurs through the walls. This can be for various reasons such as poor pointing or wall materials or inadequate gutters and downpipes, such as poorly jointed gutters.



Lateral damp

We used a resistance meter on the external walls. Again we were unable to get any readings due to the walls being dry lined.



Testing for lateral dampness

Condensation / Black Mould

This is where the humidity held within the air meets a cold surface causing condensation and black mould.

At the time of the inspection there were obvious signs of condensation in the form of black mould.

Condensation and black mould depend upon how you utilise the building. Common sense is needed and a balance between heating, ventilation of properties and opening windows to air the property regularly.



Condensation and black mould in Room 3 to front middle

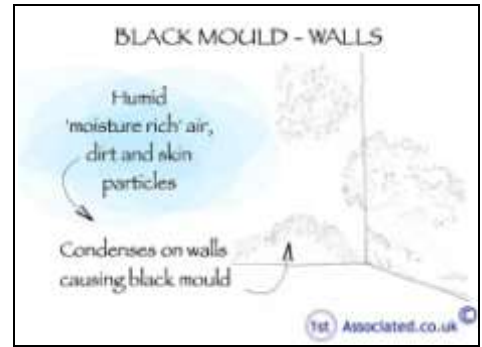
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ACTION REQUIRED: Please see our comments in the Executive Summary.



Black mould

Extract fans in kitchens and toilets

A way of helping to reduce condensation is to have good large extract fans with humidity controlled thermostats within the kitchens and toilets.

ACTION REQUIRED: We would recommend large good quality humidity controlled extract fans be added to kitchens and toilets.

ANTICIPATED COST: We would anticipate costs between £250 - £500 (two hundred and fifty pounds to five hundred pounds) per extract fan, depending upon the wiring required; quotations required.

Finally, effective testing was prevented in areas concealed by heavy furniture, fixtures such as kitchen fittings with backboards, wall tiles and wall panelling. We have not carried out tests to BRE Digest 245, but only carried out a visual inspection.

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INTERNAL DETAILING

This section looks at the doors, the stairway, the skirting boards and the kitchen to give a general overview of the internal joinery's condition.

Doors

There are a variety of doors, from the older doors in the bar to the more modern doors in the guest accommodation.

Fire Doors

In a property such as this it is fire doors that we are most concerned about as fire doors offer a break in a worst case scenario where a fire occurs. We therefore recommend checking the doors around the stairs area (as this will be your fire escape area and also will be a way the fire can spread) and kitchen and any other high risk area where there are fire doors in place and working properly.

ACTION REQUIRED: The entirety of the fire system requires testing and an overall fire plan putting into place.

Staircase

We were unable to examine the underside of the stair timbers due to it being lined where we could see it, which precluded our inspection, so we cannot comment further upon the stair structure. We can, however, say that the lining gives a resistance to the spread of fire if such circumstances were to occur.

Catering Kitchen

The property has a large catering kitchen. We found the kitchen in average condition, subject of course to some wear and tear as one would expect. The catering equipment has not been inspected, as we are not experts in this area, you should seek expert advice. We have assumed that the catering equipment meets Local Authority approval and is appropriate for use.

Altro Safety Flooring

We do not believe that the altro-safety flooring in the kitchen, wash up area and also the bar area would meet environmental health standards.

ACTION REQUIRED: You need to have a “cup of tea” meeting with the Environmental Health Officer before you commit to the purchase the property to discuss the general condition and standards within the property.

Please see our comments in the Executive Summary.

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Finally, it should be noted that not all joinery has been inspected. We have viewed a random sample and visually inspected these to give a general over-view of the condition. Please also see the External Joinery/Detailing section.

TIMBER DEFECTS

This section considers dry rot, wet rot and woodworm. Wet and Dry rot are species of fungi, both need moisture to develop and both can be very expensive to correct. We would also add that in our experience they are also often wrongly diagnosed.

Dry Rot

*Dry rot is also sometimes known by its Latin name *Serpula lacrymans*. Dry rot requires constant dampness together with a warmish atmosphere and can lead to extensive decay in timber.*

We have not visually seen any significant dry rot during the course of our inspection. We would advise that we have not opened up the floors and we had a limited view of the roof.

Wet Rot

*Wet rot, also known by its Latin name *Contiophora puteana*, is far more common than dry rot. Wet rot darkens and softens the wood and is most commonly seen in window and doorframes, where it can relatively easily be remedied. Where wet rot affects the structural timbers in a property, which are those in the roof and the floor areas, it is more serious.*

We have not visually seen any significant signs of wet rot during the course of our inspection, but we believe there may be some under the floor and also in the roof where we can see early signs.

Again, we would advise that we have not opened up the floors and we had a limited view of the roof.

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Woodworm

Active woodworm can cause significant damage to timber. There are a variety of woodworm that cause different levels of damage, with probably the worst of the most well known being the Death Watch Beetle. Many older properties have woodworm that is no longer active; this can often be considered as part of the overall character of the property.

The roof is the main area that we look for woodworm. Within the right side of the roof we found no obvious visual signs of significant woodworm activity or indeed past signs of significant woodworm activity that has caused what we would term 'structurally significant' damage, although our view was limited by the stored items.

In many properties there is an element of woodworm that is not active. Our inspection is usually restricted by insulation covering some of the timbers and general stored items in the roof, as it is restricted throughout the property by general fixtures and fittings.

We would comment in this instance that we have not seen into the left side of the roof.

ACTION REQUIRED: If you wish to be 100 per cent certain that there is no woodworm the only way would be to check the property when is emptied of fixtures and fittings etc.

Finally, when you move into the property, floor surfaces should be carefully examined for any signs of insect infestation when furniture and floor coverings are removed together with stored goods. Any signs that are found should be treated to prevent it spreading. However, you need to be aware that many damp and woodworm treatment companies have a vested interest in selling their products and therefore have fairly cleverly worded quotations where they do not state if the woodworm they have found is 'active'. You should ask them specifically if the woodworm is active or not.

We would also comment that any work carried out should have an insurance backed guarantee to ensure that if the company does not exist, or for whatever reason, the guarantee is still valid. More importantly it is essential to ensure that any work carried out is carried out correctly.

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INTERNAL DECORATIONS

With paints it should be remembered that up to 1992 lead could be used within paint and prior to this, most textured paints (commonly known as Artex) contained an element of asbestos up to 1984, so care should be taken if the paintwork looks old and dated.

Internal decorations are in average condition in the bar area and below average in the guest accommodation.

Finally, we would draw your attention to the fact that removal of existing decorative finishes may cause damage to the underlying plasterwork necessitating repairs and making good prior to redecoration.

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THERMAL EFFICIENCY

Up until the mid 1940s we did not really consider insulation in properties. Post war insulation started to be introduced gradually. In the 1970s it was upgraded following the fuel crisis and in more recent years there has been an emphasis on it, as if only a consideration in fuel prices would also add with regard to the availability of continuing fossil fuels. Care has to be taken that properties are not insulated disproportionately to the ventilation as this can cause condensation and you should be aware that you need to ventilate any property that is insulated.

Roofs

Some roof insulation was present although not to current Building Regulations requirements of 300mm. In this instance the right side of the roof was insulated it was mainly boarded out so we were unable to see.

We would reiterate that we have not viewed the left side of the roof.

Walls

The walls to this property are solid. It is very difficult to improve thermal efficiency in solid wall construction without major alterations. These will usually affect the external appearance or reduce the internal space – best left alone.

Windows

The windows are a mixture of single and double glazed and therefore will have poor / reasonable thermal properties.

Services

Service records should be obtained. It is essential for the services to be regularly maintained to run efficiently.

Summary

Assuming the above is correct, this property is average compared with what we typically see.

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OUTSIDE AREAS

The main focus of this report has been on the main building. If you wish us to do a specific report on the other areas then you need to instruct us for this separately. We are offering here a brief overview.

SITTING OUT AREA

There is a small sitting out area to the right side of the property (Middle Row).



Sitting out area
Aerial view – 350 photo

BOUNDARIES

The left hand boundary (all directions given as you face the property) is usually the responsibility of the subject property. In this instance the left side and rear were bound by other buildings.

ACTION REQUIRED: Your legal adviser to check and confirm who owns the passageways.

Finally, whilst we note the boundaries, these may not be the legal boundaries. Your Legal Advisor should make further enquiries on this point and advise you of your potential liability with regard to any shared structures, boundary walls and fences.

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OTHER MATTERS

In this section we put any other matters that do not fit under our usual headings.

Security

A security system has been installed. A good alarm system should not only help reduce break-ins but also help reduce your insurance. We are not experts in this field and therefore cannot comment further.

ACTION REQUIRED: Further information should be obtained from the vendor and the installer.

Fire / Smoke alarms

Some smoke detectors were noted and we believe it to be hard wired into the main power supply.

ACTION REQUIRED: Your legal adviser to check and confirm.

Insurance

You should ensure that the Building Insurance Policy contains adequate provision against any possibility of damage arising through subsidence, landslip, heave etc.

It is your responsibility to check out prior to commitment to purchase that insurance is available on the property on the basis of the things we have reported in the survey. Much as we would like to we are unable to keep up with the changing insurance market and give you advice with regard to this.

We would always recommend staying with the existing insurance company, and then if there are any problems you should not have the difficulty of negotiating with two insurance companies passing the blame between each other.

ACTION REQUIRED: Please see our comments in the Executive Summary about the existing owners taking out an insurance claim with regard to monitoring the cracking.

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SERVICES

This survey does not include any specialist reports on the electricity supply and circuits, heating or drainage, as they were not requested. The comments that follow are based upon a visual inspection carried out as part of the overall Survey.

Services and specialist installations have been visually inspected. It is impossible to examine every detail of these installations without partially dismantling the structure. Tests have not been applied. Conclusive tests can only be undertaken by suitably qualified contractors. The vendor/seller should be requested to provide copies of any service records, test certificates and, ideally, the names and addresses of the installing contractors.

Electrics

There are two fuse boards located in the services cupboard on the first floor corridor. They are aged between 1970's-2000's and are dated. Note, during our earth test both fuse boards tripped.

ACTION REQUIRED: Please see our comments in the Executive Summary.

We recommend new fuse boards and partial re-wiring.

As the property is changing ownership an Institution of Engineering and Technology (IET) test and report and any recommendations should be carried out by a NICEIC registered, or equivalent, approved electrical contractor or similarly approved.

Lighting

The current lighting is dated. You need a specialist to check and confirm the lighting is appropriate for how you intend to use the building.

ACTION REQUIRED: The lighting should be appropriate for the use and upgraded as necessary.

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Heating

The property has a boiler in the kitchen, with radiator system. You may wish to change this/add air conditioning.

Fuel – Gas/Oil

The respective safety standards to be applied and most full repairing and insuring leases require a test certificate. All services to Gas Safe Standard or equivalent.

Plumbing

Not tested as part of this report.

Drains

We have not carried out a drainage test. Leaking drains may relate to the structural movement in the property.

ACTION REQUIRED: We would recommend that a closed circuit TV camera report is carried out.

Service / Supply Pipes

We have not checked the service/supply pipes other than running the taps for approximately fifteen minutes in the kitchen when they had a steady flow of water.

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STATUTORY REQUIREMENTS

Fire Safety/Fire Alarms/Emergency Lighting

ACTION REQUIRED: Specialist advice should be sought.

Disability Discrimination Act

You should be aware that it is now a requirement to give reasonable access to the disabled and make reasonable amendments to the property as is necessary.

ACTION REQUIRED: You should ask to see if a report has been carried out in line with the Disabilities Act highlighting areas that can be improved or have been improved.

Asbestos Register

In a property of this age there may well be some asbestos. This was commonly used post war until it was banned relatively recently, although it is rumoured that it was still used after this point in time. In this case we think there may be some on the roof slates and also the flue.

It is now a requirement for any public building to have an asbestos register, indicating whether there is or is not asbestos and if so where it is.

ACTION REQUIRED: Please see our comments in the Executive Summary.

An Asbestos Register should be provided by the outgoing owner/occupier.

You should note that work involving products containing asbestos is covered by Health and Safety legislation and you are recommended to seek the advice of the Local Authority Environmental Health Officer before proceeding with any such work.

Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.

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Certificates to be obtained from owner/occupier

Test certificates to be provided on:-

- 1) Asbestos - Up to date asbestos report with samples.
- 2) Chimneys - Certificates confirming chimneys have been swept.
- 3) Drainage – closed circuit TV camera report.
- 4) Electrics – An Institution of Engineering and Technology (IET) standards test and report to be carried out by an NICEIC registered and approved electrical contractor or equivalent.
- 5) Environmental Health certificates and latest reports - we recommend you meet with the Environmental Health Officer before you legally commit to purchase.
- 6) Fire Safety/Fire Alarms/Emergency Lighting - we recommend you have a Fire Specialist to review the building prior to legally committing to purchase.
- 7) Gas Safe inspection and test report (you need to see heating in working order)
- 8) Lighting - The lighting needs to be checked to ensure it is suitable for the purposes for which you wish to use it.
- 9) Safe system - Ensure there is a full safe system for maintenance access and that this has been tested regularly.
- 10) Security System test
- 11) Sump pump test in cellar

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It is our policy not to offer a conclusion to ensure that the Building Survey is read in full and the comments are taken in context.

If you would like any further advice on any of the issues discussed (or indeed any that have not been discussed!) then please do not hesitate to contact us on **0800 298 5424**.

For and on Behalf of

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This Report is dated: xxxxxxxxxxxxxxxxxxxxx

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PHOTOGRAPHIC RECORD

Cellar



Cellar



Cellar drop – said to have sump pump underneath



Dampness coming in through walls



Mould to ceiling in cold store and rusting to supporting steels



Cold store
Wiring needs tidying up



Drainage under bar needs supporting



Wine and spirit store



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Ground Floor

Front of house



Archway to rear



Raised seating to front right



Proposed meeting room area



Leak from one of the shower rooms above

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Gents WC



Roof window/sky light in Gents
WC on single store flat roof



Dampness coming from
flat roof



Worn safety floor



Ladies WC



Entrance to Ladies and Gents
WC's to rear right

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Back of house



Entrance to bar



Bar server area



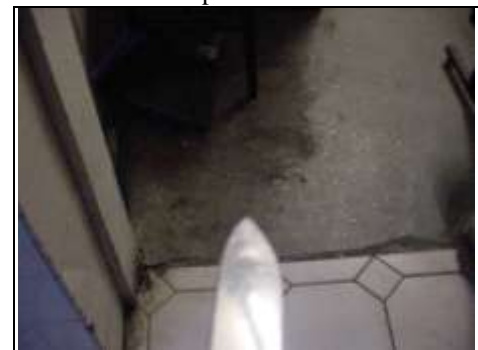
Undulations in floor by bar



Bar boards screwed back down could relate to dampness and movement



Catering kitchen



Damaged safety floor in kitchen



Wash up area



Dampness coming through from above in wash up area

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Private living accommodation

First Floor



Room 5



Room 7 to rear right



Corridor to right side



Four WC's to right side



WC one



WC two

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Room 9 to left side – lounge area



Room 9 – twin beds



Room 9 shower and WC



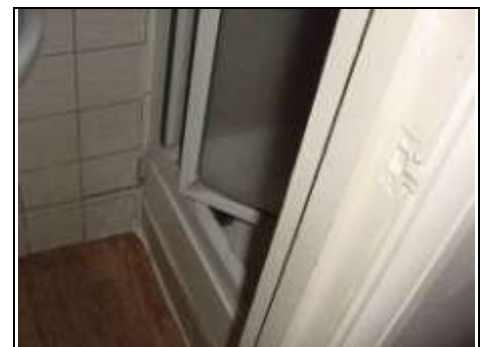
Room 9 – small extract



WC for Rooms 9 and 10



Room 8 to rear middle



Room 8 - Shower and WC

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Room 1 to front left



Room 1 to front left



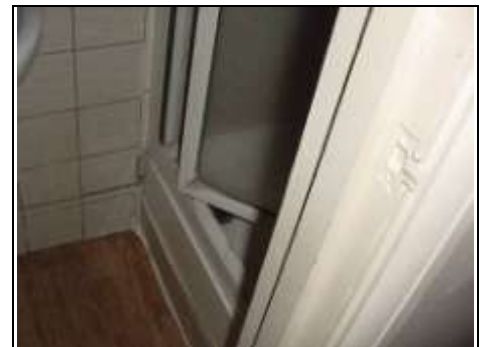
Room 1 shower and wash hand basin



Room 1 – black mould



Room 2 front middle



Room 2 shower and wash hand basins



Corridor to front

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The Charlton Tavern

The Charlton Tavern – the pub that changed everything!

Here at Pub Surveyor we love pubs, all the different types from the Back Street boozer to the pub Restaurant and the pub Hotel as well as the history that goes with the pubs and the Brewery. Over the many years we have surveyed so many pubs of every age, type and style that we have lost count!

We have met the most interesting of pub Landlords, Brewery, pub property owners, Area Managers, Business Development Managers or similar title they have. We have met some of the Pub Surveyors of old who literally did know the pub properties inside out.

We have even met a Watchsmith who used to deal with making sure that all the antique clocks that had been gathered along the way from one brewery to another brewery moved lock, stock and barrel.

Somewhere along the line the pub world went wrong

Mergers and Monopolies Commission in the 1990s limited the number of pubs that you could own and brew beer, which changed the pub world forever be it good or bad.

We have had in more recent times developers picking off pubs to develop housing developments and flat developments and change of Use. We have heard stories that some developers who buy pubs regardless of whether they are Listed or not and knock them down and develop houses on the site. It could be argued that sometimes redevelopment is the only way forward to save the building perhaps at some stage developers just got a bit too greedy. This all came to ahead with The Charlton Tavern see the photos below.



The Carlton Tavern,
Charlton Vale, Kilburn, London



Historic pub torn down by
bulldozers



The Carlton Tavern to be re-built
brick by brick

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The Charlton Tavern, Charlton Vale, Kilburn, London

The Charlton Tavern is a London pub once one of the Charrington & Co pubs in Charlton Vale, Kilburn, London which is much more now not a pub and from what we understand of the story developers got hold of the pub property and knocked down the pub before Planning Permission was granted. As had been the case up until then they expected to get retrospective Planning Permission then approval for whatever development they were going to build in the form of houses and flats. But in this case Westminster Council said that enough was enough and have said that they have to rebuild The Charlton Tavern brick by brick just as it was. This has had an interesting effect on the pub industry, the developers who thought the pub industry was a prime market for picking off residential development sites and other developments such as McDonalds, Costa Coffee, Starbucks etc.

Developers now do have to consider that if they do buy a pub they will not be able to go ahead with their development one way or another without quite a substantial risk of having to rebuild if they jump the gun and if they do not jump the gun then of course they need to make provision either to shut the pub down and secure it or to keep the property running as a pub.

The only pub in the Village

There are, of course, Planning restrictions on all properties, one of the ones that commonly comes up with regard to pubs is that is it the last pub or amenity in the village and tends to be very difficult to change it to a house or anything else. There is such a strong connection with a pub in an idyllic village with the shop and church with a village pub being the hub of the community.

List your Pub as a Community Asset

The Campaign for Real Ale (CAMRA) established in 1971 have been campaigning ever since for protecting pubs. CAMRA promote listing your pub to help to protect it from demolition or change of use with your local Council as an Assets of Community Value (ACV).

How to add your pub as an Asset of Community Value

Either download a form from CAMRA's website and CAMRA will help and submit to your local Council or contact your local Council for their form, complete this and CAMRA will help with your application providing land registry documents required.

Why is an Asset of Community Value so important?

1. To give you a voice over what occurs to pubs in your local community. If your pub is threatened you will be consulted.
2. Permitted development rights are removed if your pub is listed ensuring protection for your pub in planning law if it becomes under risk.
3. You will be connected with MP's and Councillors, local groups and members of the community to campaign to protect your local pub.
4. Positive engagement with licensees.

Is your pub listed as an Asset of Community Value?

CAMRA's website has a list of pubs that have been listed as an Asset of Community Value.

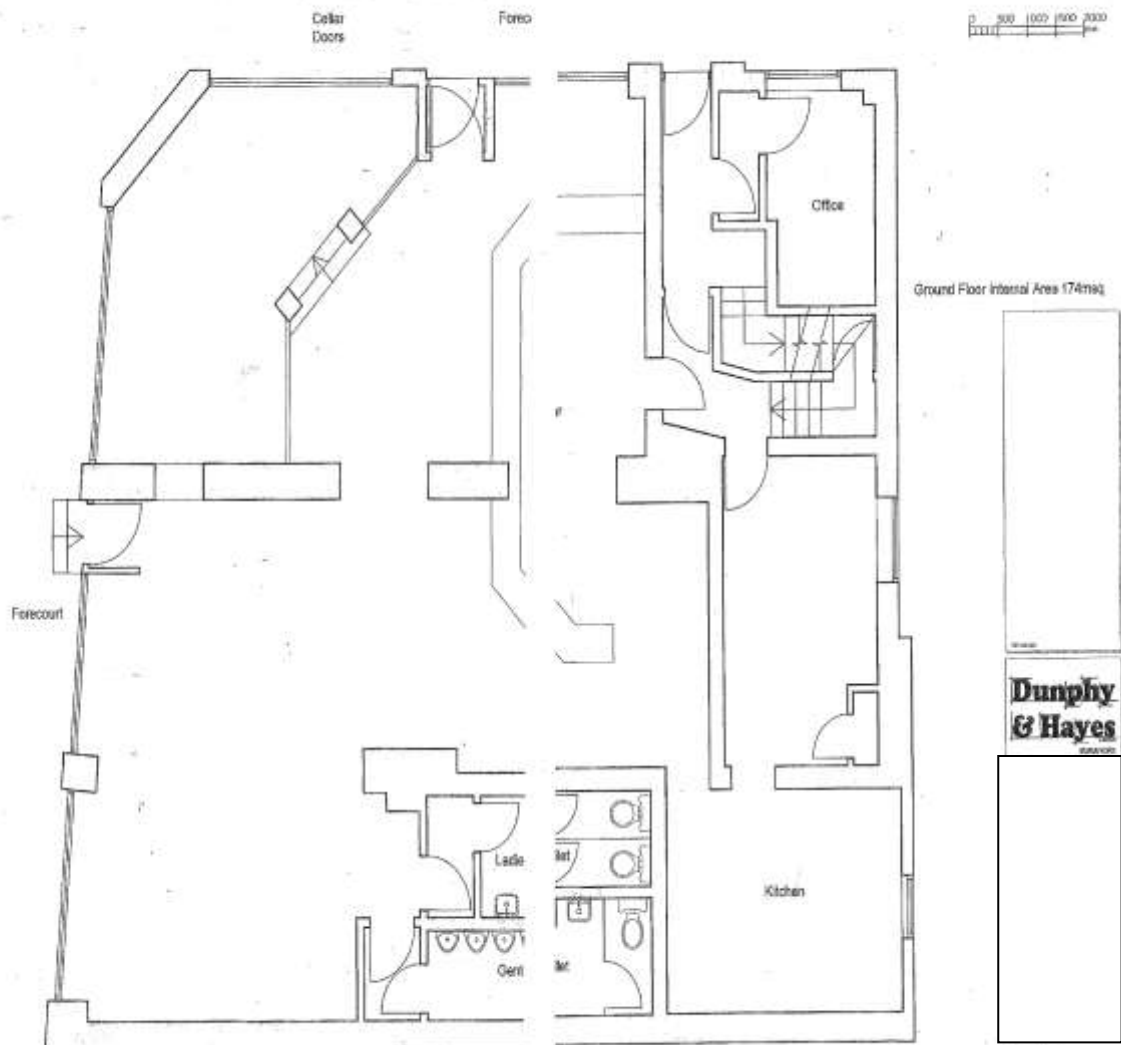
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Plan of Property



1stA

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LIMITATIONS

Our limitations are as the agreed Terms and Conditions of Engagement.

CONDITIONS OF ENGAGEMENT

The report has been prepared in accordance with our Conditions of Engagement dated xxxxxxxxxxxx and should be regarded as a comment on the overall condition of the property and the quality of its structure and not as an inventory of every single defect. It relates to those parts of the property that were reasonably and safely accessible at the time of the inspection, but you should be aware that defects can subsequently develop particularly if you do not follow the recommendations.

ENGLISH LAW

We would remind you that this report should not be published or reproduced in any way without the surveyor's expressed permission and is governed by English Law and any dispute arising there from shall be adjudicated upon only by the English Courts.

SOLE USE

This report is for the sole use of the named Client and is confidential to the Client and his professional advisors. Any other persons rely on the Report at their own risk.

ONLY HUMAN!

Although we are pointing out the obvious, our Surveyors obviously can't see through walls, floors, heavy furniture, fixed kitchen units etc. they have therefore made their best assumptions in these areas.

As this is a one off inspection, we cannot guarantee that there are no other defects than those mentioned in the report and also that defects can subsequently develop.

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WEATHER

It was a cold winter's day at the time of the inspection. The weather did not hamper the survey.

Our weather seems to be moving towards the extremities from relatively mid range.

NOT LOCAL

It should be noted that we are not local surveyors to this area and are carrying out the work without the benefits of local knowledge on such things as soil conditions, aeroplane flight paths, and common defects in materials used in the area etc.

OCCUPIED PROPERTY

The property was occupied at the time of our survey, which meant that there were various difficulties when carrying out the survey such as stored items within cupboards and throughout the property. We have, however, done our best to work around these.

JAPANESE KNOTWEED

We have not inspected for Japanese Knotweed. We would advise that we are finding that some mortgage valuation surveyors are setting valuations at zero on any property with Japanese Knotweed and are reluctant to lend where it is present.

ACTION REQUIRED: You need to carry out your own investigations on this matter before you commit to purchase the property and be aware that it could be in neighbouring properties which you do not have direct control over.

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INSPECTION LIMITED

Unfortunately in this instance our inspection has been limited as:

- 1) We did not have a full view of the roof due to the insulation covering the ceiling joists and general configuration of the roof and the lining of the floor and the mass of stored items (80% full) which limited our view.
- 2) The cellar was full of barrels floor to ceiling which limited our view.
- 2) We did not open up the walls as we could not see a way of doing this without causing damage.
- 3) We did not open up the ground floor or the first floor as we could not see a way to do it without causing damage.

We thank you for taking the time to meet us during the survey.

BUILDING INSURANCE

We do not advise with regard to building insurance. You need to make your own enquiries. Some areas may have a premium, some buildings may have a premium and some insurers may be unwilling to insure at all in certain areas. You need to make your own enquiries prior to committing to purchase the property. Please be aware the fact a building is currently insured does not mean it can be re insured.

We would comment that non-insurability of a building we feel will affect value. It is therefore essential to make your own enquiries with regard to insurance before committing to purchase the property and incurring fees.

ACTION REQUIRED: You need to contact an insurance company today to make enquiries with regard to insurance on this property.

TERMS AND CONDITIONS

Our computer system sends two copies of our Terms and Conditions to the email address given to us when booking the survey; one has the terms attached and the other has links to the Terms and Conditions on our website (for a limited time). If you have not received these please phone your contact immediately.

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USE CLASSES ORDER

xxxxxxxxxxxxxxxxxxxxxxxx London xxxxxxxxxxxxxxxx

Town and Country Planning Act (TCPA) Classes Order	Use/Description of development	Permitted Change to another use class
A1: Shops	The retail sale of goods to the public: Shops, Post Offices, Travel Agencies & Ticket Agencies, Hairdressers, Funeral Directors & Undertakers, Domestic Hire Shops, Dry Cleaners, Internet Cafés, Sandwich Bars (where sandwiches or other cold food are to be consumed off the premises).	No Permitted Change
A2: Financial & Professional Services	Financial Services: Banks, Building Societies & Bureau de Change. Professional Services (other than Health or Medical Services): Estate Agents & Employment Agencies. Other services which it is appropriate to provide in a shopping area: Betting Shops. (Where the services are provided principally to visiting members of the public).	A1 (where there is a ground floor display window)
A3: Restaurants & Cafés	Restaurants & Cafés (i.e. places where the primary purpose is the sale and consumption of food and light refreshment on the premises). This excludes Internet Cafés which are now A1.	A1 or A2
A4: Drinking Establishments	Public House, Wine Bar or other Drinking Establishments (i.e. premises where the primary purpose is the sale and consumption of alcoholic drinks on the premises).	A1, A2 or A3
A5: Hot Food Take-away	Take-aways (i.e. premises where the primary purpose is the sale of hot food to take-away).	A1, A2 or A3
B1: Business	a) Offices, other than a use within Class A2 (Financial Services) b) Research and development of products or processes c) Light industry	B8 (where no more than 235 sq.m.)
B2: General Industrial	General Industry: use for the carrying out of an industrial process other than one falling in class B1.	B1 or B8 (B8 limited to 235 sq.m.)
B8: Storage & Distribution	Use for storage or distribution centre.	B1 (where no more than 235 sq.m.)
C1: Hotels	Use as a Hotel, Boarding House or Guesthouse, where no significant element of care is provided.	No Permitted Change
C2: Residential Institutions	Hospital, Nursing Home or Residential School, College or Training Centre where they provide residential accommodation and care to people in need of care (other than those within C3 Dwelling Houses).	No Permitted Change
C2A: Secure Residential Institution	Use for a provision of secure residential accommodation, including use as a prison, young offenders institution, detention centre, secure training centre, custody centre, short term holding centre, secure hospital, secure local authority accommodation or use as a military barracks.	No Permitted Change
C3: Dwelling Houses	Use as a Dwelling House (whether or not as a sole or a main residence), a) by a single person or people living together as a family, or b) by not more than six residents living together as a single household (including a household where care is provided for residents).	No Permitted Change
D1: Non-Residential Institutions	Clinics & Health Centres, Crèches, Day Nurseries & Day Centres, Museums, Public Libraries, Art Galleries & Exhibition Halls, Law Court, Non-Residential Education & Training Centres. Places of Worship, Religious Instruction & Church Halls.	No Permitted Change
D2: Assembly & Leisure	Cinema, Concert Hall, Bingo Hall, Dance Hall, Swimming Bath, Skating Rink, Gymnasium, or area for indoor or outdoor sports or recreations, not involving motor vehicles or firearms.	No Permitted Change
Not in any use class (Sui – Generis*)	A use on its own, for which any change of use will require planning permission. Includes, Theatres, Nightclubs, Retail Warehouse Clubs, Amusement Arcades, Launderettes, Petrol Filling Stations and Motor Car Showrooms.	No Permitted Change
	Casinos - following declassification planning permission is needed for any premises, including D2 premises, to undergo a material change of use to a casino.	D2

* Where uses do not fall within the four main use classes they are classified as sui-generis. We have provided examples of some sui-generis uses but this list is not exhaustive. (Correct April 2006)

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